

# LITCHFIELD COUNCIL



*Community effort is essential*

## Council Meeting BUSINESS PAPER WEDNESDAY 20/07/2016

Meeting to be held commencing 6:00pm  
In Council Chambers at 7 Bees Creek Road, Freds Pass.



**Kaylene Conrick, Chief Executive Officer**

Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting or a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.

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	Recommendation: <ol style="list-style-type: none"> <li>1. THAT the minutes of the Special Council Meeting held 1 June 2016, 4 pages, be confirmed.</li> <li>2. THAT the minutes of the Council Meeting held 15 June 2016, 19 pages, be confirmed.</li> <li>3. THAT the minutes of the Council Meeting held 6 July 2016, 8 pages, be confirmed.</li> </ol>	
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NOTE: Attachments too large to include in the agenda can be found on Council's website at [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au)



## Council Meeting Agenda

Wednesday 20 July 2016



### 1. Opening of Meeting

#### Audio Disclaimer

An Audio recording of this meeting is being made for minute taking purposes as authorised by the Chief Executive Officer.

#### Acknowledgement

The Mayor acknowledges that the meeting is held on the land of the traditional owners and pays her respect to the Elders past and present for their continuing custodianship of the land and the children of this land across generations..

### 2. Apologies and Leave of Absence

### 3. Confirmation of Minutes

- 3.1 THAT the minutes of the Special Council Meeting held 1 June 2016, 4 pages, be confirmed. (The Minutes have been provided under separate cover)
- 3.2 THAT the minutes of the Council Meeting held Wednesday 15 June 2016, 19 pages are confirmed. (The Minutes have been provided under separate cover).
- 3.3 THAT the minutes of the Council Meeting held 6 July 2016, 8 pages, be confirmed.

### 4. Business Arising from the Minutes

Attached for Council information is Action Sheet

Resolution	Resolution2	Action Officer	Meeting Date Complete	Comments
15/0032/02	<p><b>12.4 QUESTIONNAIRE</b></p> <p>Council prepare a plan and budget for conducting a comprehensive, formal survey of residents regarding Council performance, service expectations and priorities, and regional planning, which will come back for Council consideration.</p>	Kaylene Conrick	23/07/2015	
15/0052/03	<p><b>12.5 BRIDGES RENEWAL PROGRAM ELIZABETH VALLEY ROAD</b></p> <p>3. THAT Council approve allocating \$30,000 from infrastructure reserves to undertake a detailed bridge design, which is a requirement of the Bridge Renewal Program to allow consideration of the submission.</p>	Herb Backers	20/08/2015	
15/0175/02	<p><b>12.09 Meeting Procedures By-Laws</b></p> <p>2. THAT Council instruct the Acting Chief Executive Officer to begin negotiating with Parliamentary Counsel on the drafting of Meeting Procedures By-Laws for Litchfield Council.</p>	Kaylene Conrick	19/11/2015	
15/0192/03	<p><b>12.10 Nominations for Appointment to the Litchfield Development Consent Authority</b></p> <p>3. THAT the CEO be directed to release an Expression of Interest for members of the community to nominate to be on the Litchfield Development Consent Authority</p>	Kaylene Conrick	14/12/2015	To discuss with Mayor
16/0046/01	<p><b>R2.08 Road Closing – Unnamed Road between Thorngate Road and Taylor Road, Holtze across Crown Land utilised by Defence 16/0046.</b></p> <p>THAT Council</p> <p>1. approve proceeding with the road closure process of the Unnamed Road between Thorngate Road and Taylor Road, Holtze across Crown Land; and</p> <p>2. authorises all appropriate documents are signed and the common seal is affixed by the Mayor and the Chief Executive Officer for the closure of the Unnamed Road between Thorngate Road and Taylor Road, Holtze across Crown Land; and</p> <p>3. approve the Department of Lands Planning and the Environment acquiring the land (Unnamed Road between Thorngate Road and Taylor Road, Holtze across Crown Land) following creation of title, and at nil cost and pursuant to the Lands Acquisition Act.</p>	Graeme Francis	17/02/2016	In process now

16/0067	<p><b>12.06 Road realignment section 222, 223 road closing and opening</b></p> <p>THAT Council approve</p> <ol style="list-style-type: none"> <li>1. the opening of a new section of road reserve within section 223 Hundred of Colton and closing of an existing section of road reserve that exists between Sections 222 and 223 Hundred of Colton,</li> <li>2. the Mayor and CEO signing and sealing all documentation for the opening of a new section of road reserve within section 223 Hundred of Colton and closing of an existing section of road reserve that exists between Sections 222 and 223 Hundred of Colton,</li> <li>3. gazettal of the opening of a new section of road reserve within section 223 Hundred of Colton and closing of an existing section of road reserve that exists between Sections 222 and 223 Hundred of Colton, pending no objections in accordance with the Local Government Act section 185.</li> </ol>	Graeme Francis	16/03/2016	In process now
16/0076	<p><b>Palmerston and Rural Seniors Committee Inc. Sponsorship Funding 16/0076</b></p> <p>THAT Council Enters into a three year sponsorship agreement with the Palmerston and Rural Seniors Committee Inc. for \$5,000 each year; and Allocates \$5,000 in the Budget 2016/17 and includes \$5,000 each 2017/18 and 2018/19 in Councils Long Term Financial Plan.</p>	Kaylene Conrick	20/04/2016	
16/0089	<p><b>13.09 PA2015/0768, a Development Application for Unit title schemes subdivision to create 53 lots and common property at Section 1603 and Section 1607 (185) Cyrus Road, Berry Springs, Hundred of Ayers 16/0089</b></p> <p>THAT Council writes to the Development Consent Authority indicating that it does not support the application PA2015/0768, a Development Application for Unit title schemes subdivision to create 53 lots and common property at Section 1603 and Section 1607 (185) Cyrus Road, Berry Springs, Hundred of Ayers 16/0089 in its current form, including drainage, water, roads and conservation issues.</p>	Graeme Francis	20/04/2016	Revised letter with the amendment has been sent

16/0097	<p><b>Waste Transfer Station Audit</b></p> <p>THAT Council</p> <ol style="list-style-type: none"> <li>undertakes the following works at the Berry Springs Waste Transfer Site to improve public and staff safety at the estimated costs outlined: Video surveillance\$10,000.00 Gate house\$30,000.00 Electricity supply\$15,000.00 Water tank\$3,000.00 400 metre new fencing and repairs\$20,000.00 Raise concrete pads – Berry Springs Raise concrete pads – Howard Springs (opportunity due to economies of scale)\$10,000.00 Installation of waste performance boards Berry Springs\$2,000.00 <b>Total Estimated Cost\$90,000.00</b></li> <li>fund the works from Council's Waste Management Reserve</li> <li>explores the staffing of the gatehouse as part of developing Council's 10 Year Waste Management Strategy.</li> <li>Undertakes a community awareness campaign to communicate the upgrade to residents</li> </ol>	Peter Reeve	18/05/2016	In process now
16/0129	<p><b>Road Closing – Road Reserve adjacent Stuart Highway Between Thorak Road and McMillans Road, Knuckey Lagoon</b></p> <p>THAT Council:support the proposed road closure of that section of unformed road adjacent to the Stuart Highway between Thorak Road and McMillan Road, Knuckey Lagoon.Advise the public of this proposal and invite submissions in accordance with the procedures required by Section 187 of the Local Government Act</p>	Peter Reeve	15/06/2016	In process now

5. Conflict of Interest

6. Presentations

Department of Mines and Energy

7. Public Forum

8. Accepting or Declining Late Items

Nil

9. Notices of Motion

10. Mayors Report

11. Reports from Council appointed Representatives

<b>Delegate</b>	<b>Committee</b>
Mayor Bredhauer	Howard East Water Advisory Board
Cr Wright	Knuckey Lagoon Reserve Committee Howard Springs Reserve Committee
Cr Barden	AACo Community Reference Group
Cr Osborn	Freds Pass Sport & Recreation Management Board

12. Finance Report

Agenda Item Number:	12.01	Report Number:	16/0147
Report Title:	Financial Report June 2016 Council		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	2016 June Council Monthly Report		

### Summary

The financial report for the period up to and including June 2016 is attached for Council's consideration.

### Recommendations

THAT Council receive the Litchfield Council Monthly Financial Report for June 2016.

### Background

Council receives monthly financial reports in accordance with the *Local Government (Accounting) Regulations Part 8*.

The financial report for June 2016 represents the preliminary end of year result only as financial year-end processing and journals are on-going and have not been finalised.

Final results for 2015/16 will be presented in the audit Annual Financial Statements later this year.

### Links with Strategic Plan

4. A vibrant economy

### Legislative and Policy Implications

*Local Government (Accounting) Regulations*

### Risks

No risk identified

### Financial Implications

No financial implications identified

Recommending Officer: Stuart Totham, Director of Community and Corporate Services

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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**LITCHFIELD  
COUNCIL**



*Community effort is essential*

# **Finance Report**

## **For the period to June 2016**

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- 2.3 Debtor Control Accounts
- 2.4 Creditors Paid Report
- 2.5 Statement of Credit Card Transaction
- 2.6 Financial Reserves Schedule

**Overview**

The results included in this report are preliminary results as at the end of June, the accounts are currently being audited. The final results for 2015/16 Financial Year will be finalized and presented in the Audited Financial Statements later this year.

**Income**

Operational income was \$13,311,234, \$216,513 higher than previously reported in the in June report. This was due to the increase in interest received on outstanding property rates and the recognition of additional interest income.

Operational income of \$13,311,234 is \$769,024 above the original budget of \$12,542,210 due to:

- an increase in grants received of \$33,597
- an increase in user fees and charges from Planning and Regulatory of \$356,195
- an increase in rates and annual charges received of \$110,494
- an increase in interest received on outstanding rates and waste charge of \$168,203
- an increase in interest received from bank investments of \$100,535.

The total outstanding rates as at 30 June 2016 is \$2.05 million. Outstanding rates related to the 2015/16 period are \$710,786 and \$1.34 million are related to prior years. Total rates collected in the month of June was \$233,927, being \$136,697 from current year rates and \$101,297 from prior years.

Reported Capital income at the end of June was \$4,278,496. This figure is \$3,012,953 less than previously reported in June. The reason for the variance is due to the treatment of grant funding for Freds Pass Road upgrade and Anzac Parade infrastructure upgrade of \$3,020,500. In this instance we have set aside \$1,550,000 of grant income received that relates to these two projects to offset the expenditure at project completion. The projects are expected to be later this year. The additional variance of \$7,547 related to additional income received from development contribution.

Capital income is higher than the original budget of \$3,889,500 due to an additional grant received (\$1,378,083) to support infrastructure development, however this has been offset by a reduction in the expected receipts from development contributions (\$989,087).

**Expenditure**

Operational expenditure was \$12,164,459. This is \$420,823 lower than previously forecasted expenditure of \$12,585,282 in the June report. The reduction was due expenditure not reaching expected levels across Council operations.

Operational expenditure of \$12,164,459 is \$1,155,889 less than the original budget of \$13,320,348 due to:

- a decrease in employee costs of \$491,351
- an increase in material costs of \$3,053
- a decrease in contractor costs of \$493,239
- a decrease in other costs of \$174,352.

Capital expenditure was \$6,029,522, this is \$4,312,620 lower than previously reported in June. This is due to the treatment of incomplete projects as at 30 June. The expenditure relating to the incomplete projects are treated as work in progress and are to be expensed in 2016/17.

Capital expenditure has been varied from the original budget of \$5,644,859 due to expected expenditure related to additional infrastructure (\$384,663) being received during the year.

**Summary**

The combined operating and capital deficit is \$604,251 at 30 June, this compares to the forecast deficit of \$2,541,253 reported in June. The decrease of \$1,937,002 relates to a number of variances as explained above. The actual operating deficit of \$427,429 at 30 June varies to the forecast deficit of \$604,251 by \$176,823, this reflects a provision for employee entitlement accruals as the financial results are finalised. The final deficit of \$604,251 is to be funded from Council's financial reserves, this is summarised on page 19 of this report.



Summary						
	YTD actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Revised Budget & Forecast	Reason for Variance
Operational Income	13,311,234	12,542,210	13,094,721	13,311,234	769,023	Note 1
Capital Income	4,278,496	3,889,500	7,041,449	4,278,496	388,996	Note 2
<b>TOTAL INCOME</b>	<b>17,589,730</b>	<b>16,431,710</b>	<b>20,136,170</b>	<b>17,589,730</b>	<b>1,158,020</b>	
	YTD actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Revised Budget & Forecast	Reason for Variance
Operational Expenditure	11,987,637	13,320,348	12,585,281	12,164,459	1,155,889	Note 3
Capital Expenditure	6,029,522	5,644,859	10,342,142	6,029,522	(384,663)	Note 4
<b>TOTAL EXPENDITURE</b>	<b>18,017,159</b>	<b>18,965,207</b>	<b>22,927,423</b>	<b>18,193,981</b>	<b>771,226</b>	
<b>TOTAL NET SURPLUS / (DEFICIT)</b>	<b>(427,429)</b>	<b>(2,533,498)</b>	<b>(2,791,253)</b>	<b>(604,251)</b>	<b>1,929,246</b>	
<b>Funded by:</b>						
Transfers from Reserves		(4,129,998)	(4,931,308)	(3,661,090)		
Transfers to Reserves		1,596,500	2,140,055	3,056,839		
<b>Total</b>		<b>(2,533,498)</b>	<b>(2,791,253)</b>	<b>(604,251)</b>		

Note 1 - Additional income received across divisions to 30 June 2016 (See detail at Section 2.1.b - Operational Income).

Note 2 - Reduction in Development Contributions received for 30 June 2016 (See detail at Section 2.1.b - Capital Income).

Note 3 - Reduction in operational expenditure across divisions to 30 June 2016 (See detail at Section 2.1.b - Operational Expenditure).

Note 4 - Reduction in capital expenditure across divisions for 30 June 2016 (See detail at Section 2.1.b - Capital Expenditure).

## SECTION 2.1

## Budget Summary Reports

## 2.1.a 2015/16 Budget versus actuals by expenditure type as at 30 June 2016

	2015/16 YTD Actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Original Budget & Forecast
<b>Operational income</b>					
Grants and Contributions	3,053,797	3,020,199	3,029,741	3,053,797	33,597
User Fees and Charges	873,200	517,005	829,244	873,200	356,195
Rates and Annual Charges	8,630,499	8,520,006	8,576,577	8,630,499	110,493
Rate Arrears Interest	253,203	85,000	223,419	253,203	168,203
Investment Interest	500,535	400,000	435,741	500,535	100,535
<b>OPERATIONAL INCOME TOTAL</b>	<b>\$13,311,234</b>	<b>\$12,542,210</b>	<b>\$13,094,722</b>	<b>\$13,311,234</b>	<b>\$769,023</b>
<b>Capital income</b>					
Proceeds Sale of Plant	68,032	45,000	69,363	68,032	23,032
Special Rate - WTS	419,343	401,500	417,818	419,343	17,843
Grants	3,585,208	2,248,000	6,355,708	3,585,208	1,337,208
Developer Contributions	205,913	1,195,000	198,560	205,913	(989,087)
<b>CAPITAL INCOME TOTAL</b>	<b>\$4,278,496</b>	<b>\$3,889,500</b>	<b>\$7,041,449</b>	<b>\$4,278,496</b>	<b>\$388,996</b>
<b>TOTAL INCOME</b>	<b>\$17,589,730</b>	<b>\$16,431,710</b>	<b>\$20,136,171</b>	<b>\$17,589,730</b>	<b>\$1,158,019</b>
<b>Operational Expenditure</b>					
Employee Costs	4,231,393	4,899,566	4,408,215	4,408,215	491,351
Materials	723,873	720,820	740,965	723,873	(3,053)
Contractors and Consultants	6,200,560	6,693,800	6,487,356	6,200,560	493,239
Other Expenses	831,811	1,006,163	948,746	831,811	174,352
<b>OPERATIONAL EXPENDITURE TOTAL</b>	<b>\$11,987,637</b>	<b>\$13,320,348</b>	<b>\$12,585,281</b>	<b>\$12,164,459</b>	<b>\$1,155,889</b>
<b>Surplus (Deficit) on Council Operations</b>	<b>\$5,602,092</b>	<b>\$3,111,361</b>	<b>\$7,550,890</b>	<b>\$5,425,271</b>	<b>\$2,313,908</b>
<b>Capital expenditure</b>					
Plant/Vehicle Purchases	376,633	330,000	379,216	376,633	(46,633)
Works Program	5,361,623	5,084,859	9,191,010	5,361,623	(276,764)
Property Program	291,266	230,000	771,915	291,266	(61,266)
<b>CAPITAL EXPENDITURE TOTAL</b>	<b>\$6,029,522</b>	<b>\$5,644,859</b>	<b>\$10,342,142</b>	<b>\$6,029,522</b>	<b>(\$384,663)</b>
<b>Total surplus (Deficit) on capital and operating</b>	<b>(\$427,429)</b>	<b>(\$2,533,498)</b>	<b>(\$2,791,253)</b>	<b>(\$604,251)</b>	<b>\$1,929,246</b>

## SECTION 2.1

## Budget Summary Reports

## 2.1.b 2015/16 Budget versus actuals by Program as at 30 June 2016

## Operational Income

	YTD Actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Original Budget & Forecast	Reason for Variance
<b>Governance</b>	<b>55,818</b>	-	<b>55,818</b>	<b>55,818</b>	<b>55,818</b>	
Administration	55,818	-	55,818	55,818	55,818	Note 1
<b>Corporate Services</b>	<b>7,336,959</b>	<b>7,041,743</b>	<b>7,176,643</b>	<b>7,336,959</b>	<b>295,216</b>	
Rates (includes general rates)	6,258,079	6,055,789	6,183,244	6,258,079	202,290	
Finance	1,047,532	949,554	981,399	1,047,532	97,978	Note 2
Recreational Reserves	20,000	0	0	20,000	20,000	
Information Services	11,348	36,400	12,000	11,348	(25,052)	
<b>Infrastructure</b>	<b>2,632,715</b>	<b>2,666,745</b>	<b>2,608,073</b>	<b>2,632,715</b>	<b>(34,030)</b>	
Planning	104,793	93,000	104,793	104,793	11,793	
Works - Roads	2,491,993	2,558,545	2,491,993	2,491,993	(66,552)	Note 3
Works - Administration	31,873	15,200	9,293	31,873	16,673	
Mobile Workforce	4,056	0	1,994	4,056	4,056	
<b>Regulatory Services</b>	<b>58,732</b>	<b>25,500</b>	<b>56,407</b>	<b>58,732</b>	<b>33,232</b>	
Animal Control	58,732	25,500	56,407	58,732	33,232	Note 4
<b>Waste Management</b>	<b>3,225,869</b>	<b>2,807,221</b>	<b>3,196,640</b>	<b>3,225,869</b>	<b>418,648</b>	
Waste - Administration	22,000	0	22,000	22,000	22,000	
Waste Charges	2,625,623	2,549,216	2,616,753	2,625,623	76,407	Note 5
Waste Transfer Stations	578,246	258,005	557,887	578,246	320,241	
<b>Community</b>	<b>1,140</b>	<b>1,000</b>	<b>1,140</b>	<b>1,140</b>	<b>140</b>	
Administration	1,140	1,000	1,140	1,140	140	Note 6
<b>Total Operational Income</b>	<b>13,311,234</b>	<b>12,542,210</b>	<b>13,094,722</b>	<b>13,311,234</b>	<b>769,023</b>	

**Note 1 - Governance Operational revenue forecast favourable (\$55,818)**

\$55,818 - Grant and sundry income received for Elected member training.

**Note 2 - Corporate Services Operational revenue forecast favourable (\$295,216)**

\$202,290 - An increase in forecasted rates received to 30 June 2016.

\$97,978 - An increase in bank interest recognised.

\$20,000 - A contribution from Berry Springs Recreational Reserve for construction of the caretakers dwelling.

\$25,052 - Reduction in income received from Information Manager contracting to other Councils.

**Note 3 - Infrastructure Operational revenue forecast unfavourable (\$34,030)**

\$11,793 - An increase in income received as at 30 June 2016 for Planning division.

\$66,552 - Reduction in income received compared to Budget for FAA Roads Grant.

\$16,673 - An increase in income received at 30 June 2016 for Works division.

\$4,056 - Additional income for Mobile Workforce from works at Council's Reserves.

**Note 4 - Regulatory Services Operational revenue forecast favourable (\$33,232)**

An increase in income as at 30 June 2016 for Regulatory Services.

**Note 5 - Waste Management Operational revenue forecast favourable (\$418,648)**

\$22,000 - Additional Grants received for tyre disposals and waste education.

\$76,407 - An increase of Waste Charge from original budget is received.

\$320,241 - Increase in income received compared to budget at Waste Transfer Stations.

**Note 5 - Community Operational revenue forecast favourable (\$140)**

Additional \$100 was received from Australia Day grant. \$40 donation was received and passed on to RSPCA early January 2016.

## SECTION 2.1

## Budget Summary Reports

## 2.1.b 2015/16 Budget versus actuals by Program as at 30 June 2016

## Operational Expenditure

	YTD Actuals	Committed	YTD Actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Original Budget & Forecast	Reason for Variance
<b>Governance</b>	<b>997,676</b>	<b>19,797</b>	<b>1,017,473</b>	<b>1,184,145</b>	<b>1,159,060</b>	<b>1,032,626</b>	<b>151,519</b>	
Elected Members	306,017	1,914	307,931	311,991	386,813	307,931	4,060	
Public Relations	4,008	36	4,044	14,400	4,696	4,044	10,356	Note 1
Administration	687,651	17,847	705,498	857,754	767,551	720,651	137,103	
<b>Corporate Services</b>	<b>2,954,002</b>	<b>42,684</b>	<b>2,996,686</b>	<b>2,966,624</b>	<b>3,046,309</b>	<b>3,031,016</b>	<b>(64,392)</b>	
Administration	830,506	5,134	835,640	769,126	840,525	841,603	(72,477)	
Finance	762,408	8,113	770,521	790,399	808,495	795,023	(4,624)	Note 2
Information Services	425,546	29,297	454,843	456,099	460,220	458,708	(2,609)	
Recreation Reserve Management	935,542	140	935,682	951,000	937,070	935,682	15,318	
<b>Infrastructure - Works</b>	<b>5,288,489</b>	<b>31,564</b>	<b>5,320,054</b>	<b>6,092,988</b>	<b>5,577,402</b>	<b>5,404,814</b>	<b>688,174</b>	
Planning	598,302	12,846	611,148	967,038	663,507	626,181	340,857	
Works -Roads	3,048,031	4,765	3,052,797	3,096,500	3,093,500	3,052,797	43,703	
Works - Street Lighting	37,409	-	37,409	100,000	60,000	37,409	62,591	Note 3
Works - Administration	425,335	40	425,375	483,996	495,947	456,821	27,175	
Mobile Workforce	1,078,323	6,629	1,084,952	1,291,454	1,148,991	1,123,233	168,221	
Property Management	101,089	7,284	108,373	154,000	115,457	108,373	45,627	
<b>Regulatory Services</b>	<b>338,554</b>	<b>904</b>	<b>339,458</b>	<b>377,781</b>	<b>359,017</b>	<b>348,762</b>	<b>29,019</b>	
Animal Control	338,554	904	339,458	377,781	359,017	348,762	29,019	Note 4
<b>Waste Management</b>	<b>2,137,489</b>	<b>110,330</b>	<b>2,247,819</b>	<b>2,650,810</b>	<b>2,363,768</b>	<b>2,281,094</b>	<b>369,716</b>	
Waste Transfer Stations	1,169,042	110,017	1,279,059	1,591,400	1,345,026	1,279,059	312,341	Note 5
Administration	968,447	313	968,760	1,059,410	1,018,742	1,002,035	57,375	
<b>Community Services</b>	<b>66,147</b>	<b>-</b>	<b>66,147</b>	<b>48,000</b>	<b>79,725</b>	<b>66,147</b>	<b>(18,147)</b>	
Operations	66,147	-	66,147	48,000	79,725	66,147	(18,147)	Note 6
<b>Total Operational Expenditure</b>	<b>11,782,357</b>	<b>205,279</b>	<b>11,987,637</b>	<b>13,320,348</b>	<b>12,585,281</b>	<b>12,164,459</b>	<b>1,155,889</b>	

**Note 1 - Governance Operational expenditure forecast favourable (\$151,519)**

\$4,060 - A reduction in elected member expenditure, compared to budget.

\$10,356 - Reduction in web maintenance and telephone charges, compared to budget.

\$137,103 - Reduction in employee costs and courses, seminars and conferences, compared to budget.

**Note 2 - Corporate Services Operational expenditure forecast unfavourable (\$64,392)**

\$72,477 - An increase in employee costs and consultancy costs, compared to budget.

\$4,624 - An increase in employee costs, compared to budget.

\$2,609 - An increase in software & licences expenditure, compared to budget.

\$15,318 - Reduction in Southport Mira Square funding and \$3,930 moved to capital expenditure for Berry Springs Reserve.

**Note 3 - Infrastructure Operational expenditure forecast favourable (\$688,174)**

\$340,857 - Reduction in consultants costs (Development Contribution Review no longer occurring in 2015/16), employee costs and motor vehicle fuel.

\$43,703 - Reduction in contractor costs for Road Maintenance.

\$62,591 - Reduction in Streetlight Maintenance expenditure (PAWA agreement still in progress).

\$27,175 - Reduction in works operational expenditure, compared to budget.

\$168,221 - Reduction in employee costs and motor vehicle & plant operating expenses.

\$45,627 - Reduction in cleaning and repairs and maintenance expenses for the Litchfield Council Office.

**Note 4 - Regulatory Services Operational expenditure forecast favourable (\$29,019)**

Reduction in employee costs, advertising and plant & equipment expenditure.

**Note 5 - Waste Management Operational expenditure forecast favourable (\$369,716)**

\$312,341 - Reduction in Waste Transfer to Shoal Bay expenditure, compared to budget.

\$57,375 - Reduction in employee costs, compared to budget.

**Note 6 - Community Operational expenditure forecast unfavourable (\$18,147)**

Transfer of budget to assist with additional costs from the Freds Pass Annual Show.

## SECTION 2.1

## Budget Summary Reports

## 2.1.b 2015/16 Budget versus actuals by Program as at 30 June 2016

Capital Income								
	Year to date Actuals	Committed	YTD actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Original Budget & Forecast	Reason for Variance
<b>Corporate Services</b>	<b>264,955</b>	-	<b>264,955</b>	-	<b>264,955</b>	<b>264,955</b>	<b>264,955</b>	
Recreation Reserves Management	264,955	-	264,955	-	264,955	264,955	264,955	Note 1
<b>Infrastructure</b>	<b>3,559,521</b>	-	<b>3,559,521</b>	<b>3,470,000</b>	<b>6,322,858</b>	<b>3,559,521</b>	<b>89,521</b>	
Planning	11,281	-	11,281	10,000	13,000	11,281	1,281	Note 2
Developer Contributions	205,913	-	205,913	1,195,000	198,560	205,913	(989,087)	
Works - Roads	3,320,253	-	3,320,253	2,248,000	6,090,753	3,320,253	1,072,253	
Works - Administration	22,074	-	22,074	17,000	20,545	22,074	5,074	
<b>Regulatory Services</b>	<b>21,818</b>	-	<b>21,818</b>	<b>12,000</b>	<b>21,818</b>	<b>21,818</b>	<b>9,818</b>	
Animal Control	21,818	-	21,818	12,000	21,818	21,818	9,818	Note 3
<b>Waste Management</b>	<b>432,202</b>	-	<b>432,202</b>	<b>407,500</b>	<b>431,818</b>	<b>432,202</b>	<b>24,702</b>	
Humpty Doo Transfer Station Levy	419,343	-	419,343	401,500	417,818	419,343	17,843	Note 4
Waste Transfer Stations	12,859	-	12,859	6,000	14,000	12,859	6,859	
<b>Total Capital Income</b>	<b>4,278,496</b>	-	<b>4,278,496</b>	<b>3,889,500</b>	<b>7,041,449</b>	<b>4,278,496</b>	<b>388,996</b>	

**Note 1 - Corporate Services Capital revenue forecast favourable (\$264,955)**

\$55,500 - Received additional NT Grant for Litchfield Reserve Pony Club, budget to be adjusted.

\$189,455 - Received an NT Grant for Berry Springs Caretakers Building Construction, budget to be adjusted.

**Note 2 - Infrastructure Capital revenue forecast favourable (\$89,521)**

\$1,281 - An increase in the proceeds to be received for motor vehicle disposal, compared to budget.

\$989,087 - A decrease in the Developer Contributions to be receipted into Reserves as at 30 June 2016, due to the timing of subdivision releases.

Note - The Developer Contributions are deposited directly into the Reserve Account.

\$1,072,253 - \$825,553 additional funding received from Roads to Recovery, \$250,000 additional Blackspot grant funding budgeted in 2014/15 and \$3,300 reimbursement of local roads contribution.

\$5,074 - An increase in the proceeds received from motor vehicle disposals, compared to budget.

**Note 3 - Regulatory Services Capital revenue forecast favourable (\$9,818)**

Increase in the proceeds received from a motor vehicle disposal compared to budget.

**Note 4 - Waste Management Capital revenue forecast favourable (\$24,702)**

\$17,843 - Additional levy revenue due to new subdivisions between 2015/16 budget estimate and current period.

\$6,859 - An increase in the proceeds to be received for plant disposal, compared to budget.

## SECTION 2.1

## Budget Summary Reports

## 2.1.b 2015/16 Budget versus actuals by Program as at 30 June 2016

Capital expenditure								
	Year to date Actuals	Committed	YTD actuals + Committed	Original Budget 2015/16	Revised Budget 2015/16	Forecast to 30 June 2016	Variance between Original Budget & Forecast	Reason for Variance
<b>Governance</b>	<b>83,904</b>	-	<b>83,904</b>	-	<b>83,904</b>	<b>83,904</b>	<b>(83,904)</b>	
Elected Members	39,254	-	39,254	-	39,254	39,254	(39,254)	Note 1
Public Relations	44,650	-	44,650	-	44,650	44,650	(44,650)	
<b>Corporate Services</b>	<b>173,330</b>	-	<b>173,330</b>	<b>160,000</b>	<b>653,980</b>	<b>173,330</b>	<b>(13,330)</b>	
Recreation Reserve Management	173,330	-	173,330	160,000	653,980	173,330	(13,330)	Note 2
<b>Infrastructure - Works</b>	<b>5,570,958</b>	<b>682</b>	<b>5,571,640</b>	<b>5,284,859</b>	<b>9,408,560</b>	<b>5,571,640</b>	<b>(286,781)</b>	
Planning	36,785	682	37,467	50,000	45,000	37,467	12,533	Note 3
Works - Roads	5,361,623	-	5,361,623	5,084,859	9,191,010	5,361,623	(276,764)	
Mobile Workforce	54,614	-	54,614	80,000	54,614	54,614	25,386	
Property Administration	117,936	-	117,936	70,000	117,936	117,936	(47,936)	
<b>Regulatory Services</b>	<b>45,698</b>	-	<b>45,698</b>	<b>50,000</b>	<b>45,698</b>	<b>45,698</b>	<b>4,302</b>	
Animal Control	45,698	-	45,698	50,000	45,698	45,698	4,302	Note 4
<b>Waste Management</b>	<b>154,950</b>	-	<b>154,950</b>	<b>150,000</b>	<b>150,000</b>	<b>154,950</b>	<b>(4,950)</b>	
Waste Transfer Stations	154,950	-	154,950	150,000	150,000	154,950	(4,950)	
<b>Total Capital Expenditure</b>	<b>6,028,840</b>	<b>682</b>	<b>6,029,522</b>	<b>5,644,859</b>	<b>10,342,142</b>	<b>6,029,522</b>	<b>(384,663)</b>	

**Note 1 - Governance Capital Expenditure forecast unfavourable (\$83,904)**

The purchase of two motor vehicles for CEO and Mayor.

**Note 2 - Corporate Services Capital Expenditure forecast unfavourable (\$13,330)**

\$3,930 - Additional funding for Berry Springs Reserve carpark, transferred from Operational Income allocated.

\$9,400 - Additional works carried out at Recreational Reserves since the Original Budget was set.

**Note 3 - Infrastructure - Works Capital Expenditure forecast unfavourable (\$286,781)**

\$12,533 - Reduction in funds needed in the purchase of Planning Vehicle Replacement

\$276,764 - Additional works carried out to offset Roads to Recovery additional funding.

\$25,386 - Decrease in the purchase of plant for MWF, compared to budget.

\$47,936 - Transfer of budget for additional property capital works carried out.

**Note 4 - Regulatory Services Capital Expenditure forecast favourable (\$4,302)**

\$4,302 - Decrease in the purchase of a motor vehicle, compared to budget.

**Note 4 - Waste Management Capital Expenditure forecast favourable (\$4,950)**

\$4,950 - Additional stamp duty costs for the purchase of the Backhoe.



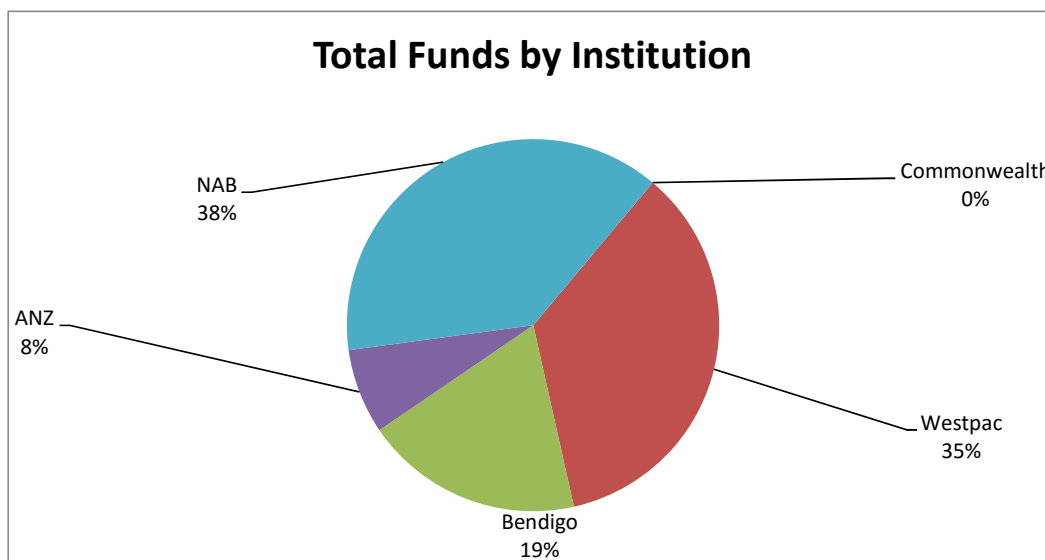
**SECTION 2.2**

**Investment Management Report**

**Investment Schedule as at 30 June 2016**

When money is held by Council that is in excess to immediate cash flow needs, these monies are invested. These investments do not represent financial reserves. For information on Council's financial reserves, refer to Section 2.6 of this report.

Date Invested	Invested Amount	Days Invested	Invested with	Interest rate	Due date	Expected return to Maturity Date
23/07/2015	1,000,000	366	Bendigo	2.85%	23/07/2016	28,578
23/01/2016	1,522,320	186	ANZ	3.05%	29/07/2016	23,661
1/03/2016	1,000,000	182	NAB	3.03%	01/09/2016	15,108
1/03/2016	1,000,000	182	Westpac	2.95%	01/10/2016	16,973
1/04/2016	1,827,435	210	NAB	3.12%	28/10/2016	32,311
31/03/2016	1,500,000	214	Westpac	3.10%	31/10/2016	27,263
3/12/2015	1,191,565	365	Bendigo	2.90%	03/12/2016	34,555
10/06/2016	2,500,000	182	Westpac	3.00%	10/12/2016	37,397
14/12/2015	1,040,000	365	Westpac	3.20%	14/12/2016	33,280
23/01/2016	1,522,761	331	NAB	3.00%	19/12/2016	41,427
31/12/2015	1,023,097	365	NAB	3.00%	31/12/2016	30,693
19/02/2016	1,015,123	365	NAB	2.92%	18/02/2017	32,562
30/05/2016	1,500,000	304	NAB	2.90%	30/03/2017	36,230
20/05/2016	1,500,000	365	Bendigo	3.00%	20/05/2017	45,000
17/06/2016	220,508	365	Bendigo	2.95%	17/06/2017	6,505
23/07/2015	10		Bendigo	0.00%	23/07/2016	Minimum balances in savings account to hold investments
23/07/2015	10		ANZ	0.00%	23/07/2016	
<b>Total Investments</b>	<b>19,362,828</b>					<b>441,544</b>
	220,508		Trust Monies			
	19,142,320		Litchfield Council Investment			
<b>Investments Total</b>	<b>19,362,828</b>					
	\$ 1,040,187		Business Max-I			
	\$ 213,630		General Operational			
<b>Total of Funds</b>	<b>\$ 20,616,645</b>					



**For Comparison:**

Previous Month - Investments Total	16,928,953	Variances are due to additional funds received into Council's bank account and reinvestment of term deposits.
Previous Month - Interest at Maturity	404,064.00	

## SECTION 2.3

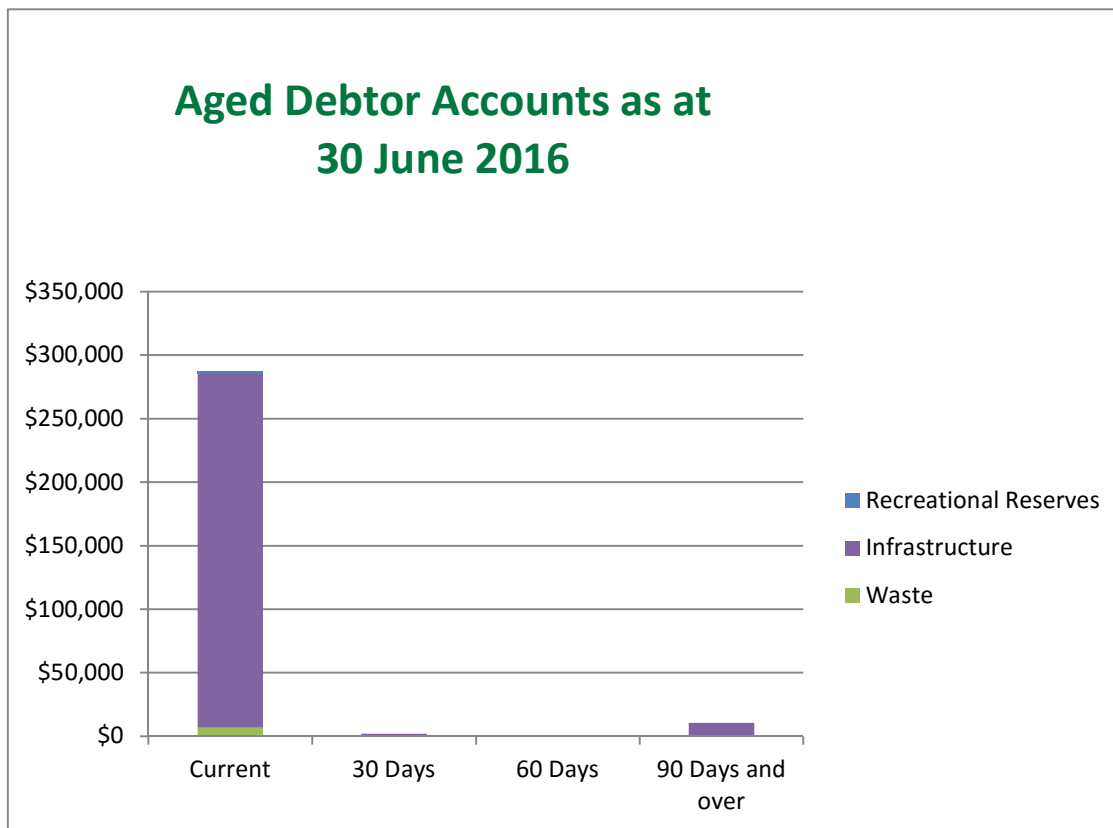
## Debtor Control Accounts

### Sundry debtor accounts as at 30 June 2016

Sundry debtors exclude rate debtors and infringements.

90 Day Debtors Action	
5,907.00	Company under Administration, two months before advice on payment
2,302.00	Sent to Debt Collectors
1,417.00	Resent invoice / incorrect mailing address on system
770.00	Resent invoice
45.00	Resent invoice

Category	Current	30 Days	60 Days	90 Days and over	Balance
Waste	6,549	788	-	160	7,497
Infrastructure	278,760	1,166	-	10,440	290,366
Recreational Reserves	2,005	-	-	-	2,005
<b>Total</b>	<b>\$ 287,314</b>	<b>\$ 1,954</b>	<b>\$ -</b>	<b>\$ 10,600</b>	<b>\$ 299,868</b>

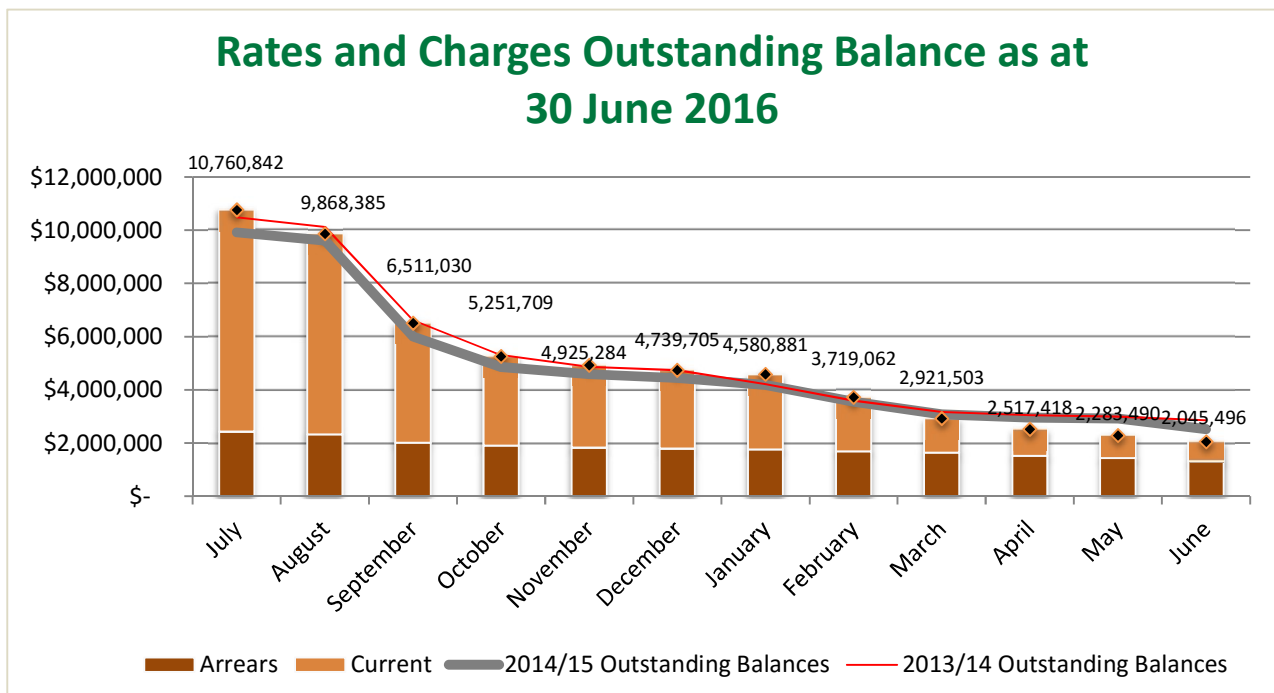


### Infringement balance as at 30 June 2016

	Number	Amount
Paid Infringements from 1 July 2015 to 30 June 2016	27	8,217.00
Unpaid Infringements from 1 July 2015 to 30 June 2016	83	31,251.00
<b>TOTAL Infringements year to date</b>	<b>110</b>	<b>39,468.00</b>
<i>Previous Month - Unpaid Infringements</i>	79	30,102.00

Courtesy letters have been sent regularly. To date, 69 infringements have been sent to the Fines Recovery Unit (FRU). Please note, when a payment plan is set up, Council will not receive payment from FRU until the final payment is received.

Outstanding rates and charges balance as at 30 June 2016



Prepayments are payments made in advance for the 2016/17 rates and charges and are not included in the outstanding balance. As at 30 June 2016, the balance of prepayments is \$508,055.67.

Summary of outstanding rates and charges as at 30/06/16:

	Prev Month	This Month
2015/16 outstanding rates and charges	847,483	710,786
Prior years outstanding rates and charges	1,436,008	1,334,710
	<u>2,283,491</u>	<u>2,045,496</u>

Since 1 July 2015, prior years outstanding rates have reduced by 45%. Of the 2015/16 levies, 92% has been collected. Therefore, 8% remains uncollected to date.

Below are the residential properties that owe both 2015/16 rates and charges and prior years amounts.

Dollar amount outstanding per assessment	Number of assessments	Total outstanding
1,501-5,000	301	811,650
5,001-10,000	61	412,097
10,001-20,000	18	223,624
20,001-30,000	3	75,068
30,001-40,000	3	113,637
>40,000	1	41,785
	<b>387</b>	<b>\$1,677,861</b>
<i>Previous Month</i>	<i>427</i>	<i>\$1,811,048</i>

## SECTION 2.4

## Creditors Paid Report

Creditors paid for June 2016				
EFT/Cheque	Date	Payee	Description	Amount
Payroll - 25	08/06/2016	LC - Staff	Payroll fortnight ending 8/06/2016	116,991.62
Payroll - 26	22/06/2016	LC - Staff	Payroll fortnight ending 22/06/2016	117,268.28
696.319-01	07/06/2016	Aldebaran Contracting Pty Ltd	Contract 129	373,550.52
700.273-01	16/06/2016	BENDIGO BANK (INVESTMENTS)	12 Months Term Deposit Investment	220,507.75
704.930-01	30/06/2016	COLEMAN'S CONTRACTING & EARTHMOVIN	Contract 133	171,918.00
704.85-01	30/06/2016	TELSTRA	Relocation of services for upgrade of in	129,202.46
703.319-01	24/06/2016	ALDEBARAN CONTRACTING PTY LTD	Contract 129	129,079.00
695.319-01	03/06/2016	Aldebaran Contracting Pty Ltd	Road Shoulder top up	51,351.00
702.280-01	22/06/2016	CITY OF DARWIN	May 15 - Shoal Bay Weigh Bridge Charges	50,996.88
699.87-01	15/06/2016	TOP END LINEMARKERS PTY LTD	Contract 126	47,643.82
695.1114-01	03/06/2016	Territory Construction Services Pty	Supply and install guard railings - Leonino Rd	45,080.00
696.36-01	07/06/2016	Bridge Toyota	Toyota Hilux 4x4 Workmate	41,048.75
DD300516	01/06/2016	Statewide Superannuation Pty Ltd	Super to 28/04/16 Ref 84953	40,559.30
702.930-01	22/06/2016	COLEMAN'S CONTRACTING & EARTHMOVIN	Contract 119	32,480.10
699.409-01	15/06/2016	F & J BITUMEN SERVICES PTY LTD	Pothole repairs, prime and seal of roads	29,680.10
699.514-01	15/06/2016	VEOLIA ENVIRONMENTAL SERVICES	Contract 103	24,881.49
695.1045-01	03/06/2016	AAM Pty Ltd	Survey & Fees for Road openings	22,852.50
DD87193B	28/06/2016	Statewide Superannuation Pty Ltd	Super to 22/06/2016 Ref 87193 Part B	22,703.32
698.409-01	10/06/2016	F & J BITUMEN SERVICES PTY LTD	Contract 127	21,725.00
702.971-01	22/06/2016	MUGAVIN CONTRACTING PTY LTD	Remove damaged pit lid & repair kerb	19,880.00
699.930-01	15/06/2016	COLEMAN'S CONTRACTING & EARTHMOVIN	Road works - Turn in lane	18,760.00
698.1094-01	10/06/2016	WORKWELL CONSULTING PTY LTD	Strategic plan development completion	18,425.00
704.971-01	30/06/2016	MUGAVIN CONTRACTING PTY LTD	Lovelock drain work - Final Claim	18,038.75
699.319-01	15/06/2016	ALDEBARAN CONTRACTING PTY LTD	Road Shoulder top up	16,220.00
704.414-01	30/06/2016	TOTAL EXCAVATIONS	Repairs to driveways	16,073.20
695.409-01	03/06/2016	F & J Bitumen Services Pty Ltd	Contract 127	15,908.20
703.849-01	24/06/2016	WEX AUSTRALIA ( PUMA CARD)	May 16 - LC Fuel account	15,044.29
DD87193	27/06/2016	STATEWIDE SUPERANNUATION PTY LTD	Super to 22/06/16 Ref 87193	14,646.82
704.409-01	30/06/2016	F & J BITUMEN SERVICES PTY LTD	Contract 127	14,091.00
704.827-01	30/06/2016	LITCHFIELD GREEN WASTE RECYCLERS	Grind green waste & wood waste	12,650.00
695.1099-01	03/06/2016	Dave's Mini Digga Hire	Clean drains	10,890.00
702.612-01	22/06/2016	CREMASCO CIVIL PTY LTD	Vehicle Movement Barriers	8,911.91
696.770-01	07/06/2016	Hays Specialist Recruitment (Aust.)	Temps Rates Assistant/HR & EA W/E 15/05	8,622.12
699.770-01	15/06/2016	HAYS SPECIALIST RECRUITMENT (AUST.)	Temps Rates Assistant/HR & EA W/E 5/06	8,509.55
700.1127-01	16/06/2016	Roy Stanton Painting Services	Painting Works - Howard Springs Scout Hall	8,338.00
698.770-01	10/06/2016	HAYS SPECIALIST RECRUITMENT (AUST.)	Temps Rates Assistant/HR & EA W/E 29/05	8,191.22
698.1104-01	10/06/2016	Stuart Totham Consulting	Consultancy - Director of Corporate Services	8,184.00
699.414-01	15/06/2016	TOTAL EXCAVATIONS	Top up road shoulders	7,810.00
696.1091-01	07/06/2016	HiQA Geotechnical	Conformance Road Testing	7,745.59
696.1065-01	07/06/2016	Mrs M H BREDHAUER	May 16 - Mayor Allowances	7,709.42
695.1086-01	03/06/2016	KCOM Constructions	Repairs to Howard Springs Scout Hall	7,458.50
702.770-01	22/06/2016	HAYS SPECIALIST RECRUITMENT (AUST.)	Temps Rates Assistant/HR & EA W/E 12/06	7,322.15
704.740-01	30/06/2016	LAMBELL LAGOON VOLUNTEER BUSHFIRE	Fuel Hazard Reduction burns	6,765.00
704.770-01	30/06/2016	HAYS SPECIALIST RECRUITMENT (AUST.)	Temps Rates Assistant/HR & EA W/E 19/06	6,728.44
699.1088-01	15/06/2016	TALENT PROPELLER	Composite Vacancy Ad - NT News	5,676.68
DD280616	28/06/2016	WESTPAC CARDS & DIRECT DEBITS	Jun 16 LC Credit card purchases	5,665.04
704.78-01	30/06/2016	POWER & WATER CORPORATION	Howard Park Reserve Water 5/3 to 2/6/16	4,840.34
696.414-01	07/06/2016	Total Excavations	Drain cleaning	4,752.00
702.596-01	22/06/2016	AREA9 IT SOLUTIONS - HARDWARE	Jun 16 - IT Service agreement	4,620.00
698.850-01	10/06/2016	HUMPTY DOO DEVELOPMENTS PTY LTD	Jun 16 - MWF Shed Lease	4,570.00
699.1091-01	15/06/2016	HIQA GEOTECHNICAL	Road base testing prior to seal	4,348.91
698.268-01	10/06/2016	BYRNE DESIGN	Road upgrade - Design & documentation	4,262.50
704.514-01	30/06/2016	VEOLIA ENVIRONMENTAL SERVICES	Mar 16 - Transfer of cardboard & co-mingle	4,175.26
702.514-01	22/06/2016	VEOLIA ENVIRONMENTAL SERVICES	Contract 103	4,077.19
695.1126-01	03/06/2016	Timber & Steel Constructions Pty Ltd	Organise building permit for Livingstone	3,960.00
701.183-01	20/06/2016	CHRIS'S BACKHOE HIRE PTY LTD	May 16 - Grave digging	3,960.00
699.926-01	15/06/2016	JACANA ENERGY	Apr 16 - HSWTS Power account	3,903.56
703.70-01	24/06/2016	LOCAL GOVERNMENT ASSOCIATION NT	Recruitment - Director Community & Corp.	3,827.00
704.87-01	30/06/2016	TOP END LINEMARKERS PTY LTD	Line marking at Humpty Doo WTS	3,771.32
698.81-01	10/06/2016	RHO SURVEYS	Detail survey of road	3,652.00
698.45-01	10/06/2016	AREA CONTRACTING PTY LTD	Remove trees & shrubs	3,350.00
696.1099-01	07/06/2016	Dave's Mini Digga Hire	Clean out drain	3,300.00
704.1128-01	30/06/2016	Parap Village Apartments	Acomodation - Special Projects Consultant	3,290.00
695.596-01	03/06/2016	Area9 IT Solutions - HARDWARE	May 16 - IT Support & Assistance	3,272.50

## SECTION 2.4

## Creditors Paid Report

## Creditors paid for June 2016

EFT/Cheque	Date	Payee	Description	Amount
704.1097-01	30/06/2016	DUNBAR, FIONA	Week 13 - Advisory Support to CEO	3,150.00
704.249-01	30/06/2016	TERRITORY RURAL	2 205l Drums of oil for tractors	2,974.68
704.864-01	30/06/2016	ALLMINE HOLDINGS (NT) PTY LTD	Repairs to front of Hyundai loader	2,906.59
DD160616	17/06/2016	STATEWIDE SUPERANNUATION PTY LTD	Super Adjust. Empl.153 - P/E 25/5/16	2,904.84
702.414-01	22/06/2016	TOTAL EXCAVATIONS	Clean drain & reshape invert	2,728.00
699.1053-01	15/06/2016	CSG BUSINESS SOLUTIONS PTY LTD	May 16 - LC Copier Charges	2,663.56
695.414-01	03/06/2016	Total Excavations	Clean culvert	2,640.00
698.1099-01	10/06/2016	DAVE'S MINI DIGGA HIRE	Clean out 200m of drain - Bees Creek	2,640.00
698.384-01	10/06/2016	Ms C VERNON	May 16 - Authority Consulting	2,625.00
699.596-01	15/06/2016	AREA9 IT SOLUTIONS - HARDWARE	May 16 - IT Support & Assistance	2,563.00
698.930-01	10/06/2016	COLEMAN'S CONTRACTING & EARTHMOVING	Contract 119	2,548.97
695.806-01	03/06/2016	Zippy Cleaning & Maintenance Service	May 16 - LC Office cleaning	2,489.25
695.1097-01	03/06/2016	Dunbar, Fiona	Week 9 - Advisory support to CEO	2,450.00
704.1063-01	30/06/2016	K J HUNT	Councillor Allowances (20% from Dec-May 16)	2,379.44
704.832-01	30/06/2016	NT SPORTS & PLAYGROUND SURFACING PL	Supply and Install 2 new Basketball Backdrops	2,374.80
695.1128-01	03/06/2016	Parap Village Apartments	Accommodation - Special Projects Consultant	2,350.00
702.1128-01	22/06/2016	Parap Village Apartments	Accommodation - Special Projects Consultant	2,350.00
696.1068-01	07/06/2016	Mr D S BARDEN	May 16 - Deputy Mayor/Councillor Allowance	2,311.10
699.1076-01	15/06/2016	TDC (NT) PTY LTD - T/AS TERRITORY	Letters of Demand for Outstanding Rates	2,085.33
695.1106-01	03/06/2016	KAY RUNDLE AND ASSOCIATES	Executive Coaching Program sessions	1,980.00
696.1062-01	07/06/2016	Mrs L WRIGHT	May 16 - Councillor Allowances	1,959.59
696.1063-01	07/06/2016	K J Hunt	May 16 - Councillor/Deputy Mayor Allowances	1,954.01
702.1087-01	22/06/2016	TOTAL TOOLS DARWIN	Tools for MWF	1,944.75
696.1064-01	07/06/2016	Mrs C M OSBORN	May 16 - Councillor Allowances	1,819.59
701.926-01	20/06/2016	JACANA ENERGY	May 16 - Cemetery power account	1,814.23
702.1076-01	22/06/2016	TDC (NT) PTY LTD - T/AS TERRITORY	Letters of demand for outstanding rates	1,767.50
696.1097-01	07/06/2016	Dunbar, Fiona	Week 10 - Advisory Support to CEO	1,750.00
699.1097-01	15/06/2016	DUNBAR, FIONA	Week 11 - Advisory Support to CEO	1,750.00
704.924-01	30/06/2016	OUTBACK TREE SERVICE	Trim trees along road to maintain clearance	1,496.00
701.806-01	20/06/2016	ZIPPY CLEANING & MAINTENANCE SERVICE	May 16 - Clean Thorak office & Chapel	1,488.08
704.1141-01	30/06/2016	Northern Ground Maintenance	May 16 Lawn Mowing - Howard Park Reserve	1,479.50
696.1076-01	07/06/2016	TDC (NT) Pty LTD - T/As Territory	Rates recovery - Letters of demand	1,470.00
698.1088-01	10/06/2016	TALENT PROPELLER	Composite Ad Local Government Job Direct	1,443.75
704.90-01	30/06/2016	INDUSTRIAL POWER SWEEPING	Sweep intersections	1,443.75
703.1097-01	24/06/2016	DUNBAR, FIONA	Week 12 - Advisory Support to CEO	1,400.00
704.282-01	30/06/2016	TOP END TYRE RECYCLING	Disposal of tyres as per EPA grant	1,306.55
702.78-01	22/06/2016	POWER & WATER CORPORATION	May 16 - HDWTS Water account	1,286.88
695.78-01	03/06/2016	Power & Water Corporation	LC Water account P/E 17/5/16	1,231.74
704.926-01	30/06/2016	JACANA ENERGY	Howard Springs Reserve Power 4/5 to 1/6/16	1,216.27
702.506-01	22/06/2016	TURBO'S TYRES	Supply and fit tractor tyre	1,142.90
703.1094-01	24/06/2016	WORKWELL CONSULTING PTY LTD	Council Municipal Plan: Layout and Graph	1,100.00
702.367-01	22/06/2016	BUNNINGS GROUP LIMITED	May 16 - LC Hardware account	1,078.53
702.801-01	22/06/2016	KING DIESEL & MAINTENANCE PTY LTD	Service on backhoe at Berry Springs WTS	1,063.40
695.202-01	03/06/2016	Mr I SUMMERS	Risk Management & Audit Committee Fees	1,056.00
704.599-01	30/06/2016	WELDING & MAINTENANCE SERVICES NT	Installing new lifting plate on waste bins	1,010.00
703.1080-01	24/06/2016	UNIVERSITY OF NEW ENGLAND	Staff Study Assistance - Intro Civil/Eng	1,002.60
698.906-01	10/06/2016	WARD KELLER PTY LTD ( LAWYERS )	Drafting formal instrument of agreement	1,000.00
702.87-01	22/06/2016	TOP END LINEMARKERS PTY LTD	Contract 126	1,000.00
695.1102-01	03/06/2016	Association of Sustainability in	2016 Conference Registration REF # 281	990.00
703.1119-01	24/06/2016	Mr P REEVE	Reimburse airfare	932.66
699.14-01	15/06/2016	AUSTRALIA POST	Final rates reminders & infringement notices	928.25
699.187-01	15/06/2016	NORSIGN	Contract 125	914.76
699.835-01	15/06/2016	OUTBACK AUTO ELECTRICS & AIRCONDITIONING	Repairs to electric winch on Landcruiser	906.50
704.1136-01	30/06/2016	David Daly Electronics Pty Ltd	Repair Projector in Council Chambers	904.00
696.22-01	07/06/2016	Iron Mountain Australia Pty Ltd	May 16 - LC Record Management	890.51
702.690-01	22/06/2016	TOTAL HYDRAULIC CONNECTIONS (NT) PL	Fix hydraulic fittings on Bobcat	856.10
704.205-01	30/06/2016	JIMS TEST & TAG	Test and tag for HDWTS	825.00
701.849-01	20/06/2016	WEX AUSTRALIA ( PUMA CARD )	May 16 - Cemetery fuel account	806.21
696.1032-01	07/06/2016	International Association for Public	IAP2 Membership & Certificate in Engagement	803.00
702.928-01	22/06/2016	RSEA PTY LTD	Protective wear/clothing for MWF	794.22
701.41-01	20/06/2016	ARNO'S TYRE SERVICE	Replacement front tractor tyre	766.00
704.968-01	30/06/2016	NT FASTENERS PTY LTD	Power Tools for MWF	763.77
702.820-01	22/06/2016	CONSOLIDATED BEARING COMPANY ( CBC )	Grease gun, grab kits & power belt	747.22
704.928-01	30/06/2016	RSEA PTY LTD	First Aid Kits for MWF	739.65

## SECTION 2.4

## Creditors Paid Report

Creditors paid for June 2016				
EFT/Cheque	Date	Payee	Description	Amount
695.751-01	03/06/2016	Mrs A F CONNOLLY	Reimbursement for Airfare	728.22
696.1129-01	07/06/2016	PR Button	Consultancy - Public Relations	726.00
698.371-01	10/06/2016	AARDVARK CRANE & TILT	Transport abandoned vehicles	726.00
699.515-01	15/06/2016	JC ELECTRONIC SECURITY PTY LTD	Replace security camera	725.40
B Pay131	24/06/2016	POWER & WATER CORPORATION	Knuckey Lagoon Reserve Water Account	719.61
704.522-01	30/06/2016	FARMWORLD NT PTY LTD	Supply tractor window	710.05
699.51-01	15/06/2016	SOUTHERN CROSS PROTECTION	May 16 - LC Security service	698.85
B-Pay131	24/06/2016	JACANA ENERGY	Knuckey Lagoon Power Account	697.14
696.599-01	07/06/2016	Welding & Maintenance Services NT	Install pole for security camera at BSWTS	690.00
703.506-01	24/06/2016	TURBO'S TYRES	Supply and fit tractor tyre & flat proofing	689.70
704.1040-01	30/06/2016	SUPER CHEAP AUTO	Various items for MWF use	610.79
704.508-01	30/06/2016	EASA	May 16 - EAP Counselling	604.29
704.506-01	30/06/2016	TURBO'S TYRES	Repair flat tyres	603.80
703.1098-01	24/06/2016	Ms W D SMITH	Reimburse - PIA Membership fee	599.00
702.98-01	22/06/2016	ALL RURAL MECHANICAL	Brake service/repair on ute	587.50
696.690-01	07/06/2016	Total Hydraulic Connections (NT) PL	Repair leaking hydraulics on Backhoe	578.23
702.56-01	22/06/2016	COLEMANS PRINTING PTY LTD	Impounding Notice Books of 50 in Triplicate	574.20
696.815-01	07/06/2016	Jeffress Advertising	NT News add - Ordinary Meeting	567.02
700.56-01	16/06/2016	COLEMANS PRINTING PTY LTD	30 x Litchfield Council pre-start books	566.50
698.282-01	10/06/2016	TOP END TYRE RECYCLING	Disposal of tyres per EPA grant	560.24
699.599-01	15/06/2016	WELDING & MAINTENANCE SERVICES NT	Repairs to general bin at HSWTS	545.00
698.414-01	10/06/2016	TOTAL EXCAVATIONS	Emergency repair to driveway access	541.20
699.560-01	15/06/2016	JOBFIT HEALTH GROUP PTY LTD	2016 Fluvax program	536.80
703.282-01	24/06/2016	TOP END TYRE RECYCLING	Disposal of tyres as per EPA grant	521.49
704.187-01	30/06/2016	NORSIGN	Contract 125	511.50
697.97-01	09/06/2016	CLEANAWAY	May 16 - Clear Cemetery bins	510.29
702.665-01	22/06/2016	AL'S PANEL SHOP	Insurance Excess for vehicle	500.00
696.506-01	07/06/2016	Turbo's Tyres	Patch and repair tractor tyres	489.50
695.599-01	03/06/2016	Welding & Maintenance Services NT	Weld anti theft boxes to containers	480.00
702.874-01	22/06/2016	FIN BINS	Nov 15 to Jan 16 - LC Rubbish removal	479.60
697.896-01	09/06/2016	E E MUIR & SONS PTY LTD	Termidore - Insecticide	440.00
704.1134-01	30/06/2016	Top End Tree Service Pty Ltd	Arborist Report - Knuckey Lagoon Reserve	440.00
702.671-01	22/06/2016	BURSON AUTOMOTIVE PTY LTD (COOLALIN)	Various nuts, bolts and grease nipples	436.37
695.645-01	03/06/2016	Berry Springs Mechanical	Repair fire fighting pump for BSWTS	432.10
703.1076-01	24/06/2016	TDC (NT) PTY LTD - T/AS TERRITORY D	Commission on direct payments	425.66
699.690-01	15/06/2016	TOTAL HYDRAULIC CONNECTIONS (NT) PL	Repair leaking hydraulic line on loader	423.90
695.39-01	03/06/2016	Danisam Pty Ltd	Locate & mark services	407.00
695.56-01	03/06/2016	Colemans Printing Pty Ltd	Construction Daily Diary Books	407.00
702.594-01	22/06/2016	ALL ALUMINIUM (WAYNE STREET)	Modify bin carrier for Quad Bike	400.00
697.941-01	09/06/2016	EVERLON BRONZE	Plaque - 380 x 280mm	398.20
697.326-01	09/06/2016	EYESIGHT SECURITY P/L	May 16 - Cemetery security patrols	397.61
703.1135-01	24/06/2016	Employment Office Australia Pty Ltd	Recruitment Director Community & Corp. S	386.54
704.36-01	30/06/2016	BRIDGE TOYOTA	10,000km Vehicle service	361.42
703.886-01	24/06/2016	Mr R J FREEMAN	Remove valves of fire extinguishers & ma	360.00
704.826-01	30/06/2016	NORMIST P/L (DARWIN BOLT SUPPLIES)	Drum Rack Cradle to suit 210l Drums	356.00
704.1008-01	30/06/2016	OUTBACK BATTERIES P/L	2 x truck batteries	355.50
695.1130-01	03/06/2016	Mair's Only Cleaning	Cleaning at Howard Park Reserve	350.00
698.1130-01	10/06/2016	Mair's Only Cleaning	Cleaning at Howard Park Reserve	350.00
699.1130-01	15/06/2016	Mair's Only Cleaning	Cleaning at Howard Park Reserve	350.00
703.1130-01	24/06/2016	Mair's Only Cleaning	Cleaning of Howard Park Reserve	350.00
704.1130-01	30/06/2016	Mair's Only Cleaning	Cleaning of Howard Park Reserve	350.00
412948	09/06/2016	LITCHFIELD COUNCIL PETTY CASH	P Cash Reimbursement	343.15
412954	29/06/2016	LITCHFIELD COUNCIL PETTY CASH	P Cash Reimbursement	341.50
702.790-01	22/06/2016	BOBTOW TILT TRAY SERVICES	Transport Backhoe	308.00
696.132-01	07/06/2016	Airpower NT Pty Ltd	Oil & oil filters for mowers	303.10
704.1087-01	30/06/2016	TOTAL TOOLS DARWIN	Impact sockets & straps/slings	301.65
695.506-01	03/06/2016	Turbo's Tyres	Repair mower tyre	296.45
699.78-01	15/06/2016	POWER & WATER CORPORATION	May 16 - HSWTS Water account	294.84
699.88-01	15/06/2016	WORMALD ( TYCO AUST P/L )	Fire alarm coupling	290.40
704.612-01	30/06/2016	CREMASCO CIVIL PTY LTD	Repair & reinstall bollard on road	275.00
DD220616	23/06/2016	SE RENTALS PTY LTD	June 16 - Cemetery copier lease	260.79
696.3-01	07/06/2016	Comm8 (Combined Communications	June 16 - Tracking system Data Access	255.20
702.828-01	22/06/2016	HOWARD SPRINGS VETERINARY CLINIC	Euthanasia & disposal of 2 dogs	255.00
698.522-01	10/06/2016	FARMWORLD NT PTY LTD	Tractor mirrors	250.00



## SECTION 2.4

## Creditors Paid Report

Creditors paid for June 2016				
EFT/Cheque	Date	Payee	Description	Amount
702.58-01	22/06/2016	STAPLES AUSTRALIA PTY LTD (CORP)	Stationery & Paper rolls	244.83
704.31-01	30/06/2016	TOP END SIGN SALES	Coreflute signs	242.00
696.61-01	07/06/2016	Greenthemes Indoor Plant & Hire	May 16 - Indoor plant hire	233.50
704.776-01	30/06/2016	HME AIRCONDITIONING & ELECTRICAL	Fix power socket at Howard springs WTS	233.20
702.560-01	22/06/2016	JOBFIT HEALTH GROUP PTY LTD	Medical Examination	232.10
702.165-01	22/06/2016	THINK WATER	Various fittings and pipe for Howard Springs	222.01
704.450-01	30/06/2016	HUMPTY DOO VETERINARY HOSPITAL PTY	Payment Correction for 16/2/16 EFT	220.00
697.41-01	09/06/2016	ARNO'S TYRE SERVICE	Replace tyre tube on tractor	214.50
698.886-01	10/06/2016	Mr R J FREEMAN	Remove tyres from rims and make gas cylinder	212.50
702.99-01	22/06/2016	SBA OFFICE NATIONAL	Stationery	208.45
702.1008-01	22/06/2016	OUTBACK BATTERIES P/L	Battery for landcruiser	206.10
704.39-01	30/06/2016	DANISAM PTY LTD	Locate & Mark Services	203.50
702.1098-01	22/06/2016	Ms W D SMITH	Reimbursement for IAP2 Australasian Memb	198.00
702.513-01	22/06/2016	GNK BOSS SOLUTIONS	May 16 - Cleaning of kennels	198.00
704.807-01	30/06/2016	TOTALWELD SALES & SERVICE P/L	Cut off disks & mig welding tips	198.00
704.512-01	30/06/2016	SELTER SHAW PLUMBING PTY LTD	Repair water leak	196.90
697.126-01	09/06/2016	WATER DYNAMICS (NT) PTY LTD	Irrigation coil & connectors	179.92
699.165-01	15/06/2016	THINK WATER	Irrigation parts	174.55
B Pay130	14/06/2016	RTM MOTOR VEHICLE REGISTRY - MVR	Kubota Tractor Rego - CA22TA	167.40
696.671-01	07/06/2016	Burson Automotive Pty Ltd (Coolalinga)	Battery for Backhoe	165.00
701.126-01	20/06/2016	WATER DYNAMICS (NT) PTY LTD	Irrigation Controller	162.62
697.300-01	09/06/2016	DARWIN OFFICE TECHNOLOGY P/L	Jan 16 - Cemetery copier charges	160.94
695.1056-01	03/06/2016	Ram Star Plastics & Fabrication	Weld repair fuel tank	159.50
699.41-01	15/06/2016	ARNO'S TYRE SERVICE	Puncture repair for backhoe	154.00
699.1040-01	15/06/2016	SUPER CHEAP AUTO	Pair of alloy loading ramps	149.40
697.287-01	09/06/2016	HARVEY DISTRIBUTORS	Garbage bags & paper rolls	148.49
DD090616	09/06/2016	SENSIS PTY LTD	May 16 - Sensis advertising	138.38
699.99-01	15/06/2016	SBA OFFICE NATIONAL	Stationery	137.05
696.1008-01	07/06/2016	Outback Batteries P/L	Mower battery	134.10
696.924-01	07/06/2016	Outback Tree Service	Remove overhanging branches	132.00
699.751-01	15/06/2016	Mrs A F CONNOLLY	Reimburse - iap2 course accommodation	129.85
704.1138-01	30/06/2016	Rural Radiators	Repair mower radiator	110.00
704.3-01	30/06/2016	COMM8 (COMBINED COMMUNICATIONS)	Decommission & remove radio from ute	110.00
704.790-01	30/06/2016	BOBTOW TILT TRAY SERVICES	Removal of vehicle from Freds Pass Reserve	110.00
695.25-01	03/06/2016	RTM Integrated Land information Sys	May 16 - Land Search	109.60
698.652-01	10/06/2016	ANIMAL CARE EQUIP. & SERVICES (AUST)	Assorted nylon dog muzzles	100.40
412953	22/06/2016	LITCHFIELD COUNCIL PETTY CASH	Increase HSWTS Cash Float	100.00
B-Pay130	14/06/2016	RTM MOTOR VEHICLE REGISTRY - MVR	Trailer Rego - TG8510	90.70
697.22-01	09/06/2016	IRON MOUNTAIN AUSTRALIA PTY LTD	May 16 - Cemetery record management	88.00
696.1015-01	07/06/2016	NewsXpress Humpty Doo	Apr/May 16 - NT News	83.50
702.876-01	22/06/2016	NT ICE	30 bags of ice	82.50
704.874-01	30/06/2016	FIN BINS	Howard Springs Reserve Rubbish Removal	79.20
699.671-01	15/06/2016	BURSON AUTOMOTIVE PTY LTD (COOLALIN	Rags & wipes for HDWTS	79.01
702.968-01	22/06/2016	NT FASTENERS PTY LTD	Box of Tek screws, washers etc.	72.58
702.926-01	22/06/2016	JACANA ENERGY	Apr 16 - MWF Power account	63.26
701.300-01	20/06/2016	DARWIN OFFICE TECHNOLOGY P/L	May 16 - Cemetery copier charges	57.54
DD290616	28/06/2016	WESTPAC CARDS & DIRECT DEBITS	Jun 16 - Cemetery Credit card purchases	53.53
699.522-01	15/06/2016	FARMWORLD NT PTY LTD	Overflow tank for tractor	53.50
699.189-01	15/06/2016	HD ENTERPRISES P/L (HD PUMP SALES)	Cooling system leak stopper	51.56
698.443-01	10/06/2016	TERRITORY UNIFORMS	Digitisation of Ranger Badge	32.00
697.30-01	09/06/2016	TERRITORY SPRINGWATER PTY LTD	Bottled water for Cemetery	31.50
701.30-01	20/06/2016	TERRITORY SPRINGWATER PTY LTD	3 X 15 litre bottles of water for Thorak	31.50
<b>Total</b>				<b>\$ 2,207,252.35</b>

## SECTION 2.5

## Statement of Credit Card Transactions

Credit card transactions for June 2016

STAFF MEMBER	COST CODES	DETAILS	GROSS	GST
<b>Kaylene Conrick</b> CEO	W4314.131	Backhoe Registration - Stamp Duty	4,950.00	-
	W4317.126	Backhoe Registration - CTP Contribution	165.75	15.06
	W4317.126	Backhoe Registration - Admin Fee	10.00	-
	3121.355.638	Internet Connection	59.99	5.45
	W4084.301	IPAA Resilience Training	30.00	-
	3121.355.638	Microsoft Visio Licences	86.68	7.88
	3121.355.638	Internet Connection	50.00	4.55
<b>Justin Dunning</b> MWF Manager	3800.350.560	Batteries for Surveyance Camera	18.99	1.73
<b>Glen Byrnes</b> Waste Manager	W4171.127	Keys for Bobcat	20.00	1.82
	3410.350.515	Staff Amenities - Kitchen Products	10.80	-
	3410.350.515	Staff Amenities - Kitchen Products	34.26	-
	3410.350.515	Staff Amenities - Kitchen Products	45.76	4.16
	W4238.30	Kitty Litter for Oil Spill	104.85	9.53
	3410.350.515	Staff Amenities - Kitchen Products	14.56	1.32
	3410.350.515	Staff Amenities - Kitchen Products	3.50	-
	W4238.30	Keys for Compactor	29.90	2.72
<b>Total</b>			\$ 5,635.04	\$ 54.22



## SECTION 2.6

## Financial Reserves Schedule

Financial reserves schedule					
	Balance as at 1/7/15	TO RESERVES Movement	FROM RESERVES Movement	Net Movement	Balance as at 30/6/16
Property Reserve	531,630	274,153	40,000	234,153	765,783
Plant and Equipment Reserve	313,431	114,673	202,627	- 87,954	225,477
Infrastructure Reserve	3,439,401	860,054	502,466	357,588	3,796,989
Developer Contribution Reserve*	1,430,659	205,913	780,806	- 574,893	855,766
Waste Management Reserve	2,243,999	1,242,891	-	1,242,891	3,486,890
Election Reserve	81,000	64,160	75,957	- 11,797	69,203
Disaster Recovery Reserve	790,388	-	-	-	790,388
Strategic Initiatives Reserves	1,414,139	30,000	984,139	- 954,139	460,000
Unexpended Capital Works Reserve	850,000	-	850,000	- 850,000	-
Unexpended Grants and Contributions	225,095	264,995	225,095	39,900	264,995
	<b>\$ 11,319,742</b>	<b>\$ 3,056,839</b>	<b>\$ 3,661,090</b>	<b>-\$ 604,251</b>	<b>\$ 10,715,491</b>

\* Externally restricted reserve

In Summary	To	From	Total
Original Budget	\$ 1,596,500	-\$ 4,129,998	-\$ 2,533,498
Sept Review	\$ 57,543	-\$ 1,105,095	-\$ 1,047,552
Dec Review	\$ 45,160	-\$ 206,117	-\$ 160,957
May Review	\$ 440,852	\$ 509,902	\$ 950,754
June 2016 Actual	\$ 916,784	\$ 1,270,218	\$ 2,187,002
			<u>-\$ 604,251</u>

Note - The Financial Reserve balances are subject to change with the continuation of year end processing.

## 13. Officers Reports

13.1	Council Report EMEL31268
13.2	Development PA2016/0373
13.3	Development PA2016/0405
13.4	Berry Springs Water Allocation Plan 2016
13.5	Development PA2016/0277
13.6	Infrastructure and Planning Quarterly Report
13.7	Amend - Pensioner Rate Discount for the 2016/17
13.8	Acquittal - Grant - Elected Members Training
13.9	Progress Report - Grant - Howard Springs Scout Hall
13.10	Amended MOU - Freds Pass Sport & Recreation Reserve
13.11	Community & Corporate Services Quarterly Report
13.12	Supporting Partner – Territory Natural Resource Management 2016 Conference and NRM Awards
13.13	LGANT Executive Elections
13.14	Submission Proposed Changes to Local Government Act
13.15	Aquatic Leisure Facility Community Needs Project Update
13.16	Letter of Support - You Are Important Australia

Council Report EMEL31268genda Item Number: Report Title:	13.1	Report Number:	16/0148
Meeting Date:	20/07/2016	Record Number:	
Attachments:	Attachment A: Extractive Mineral Exploration Licence Application EMEL31268. Attachment B: Council's letter of comment for EMEL31268, an Extractive Mineral Exploration Licence Application at Section 220, 221, 1002 and 1003, Hundred of Colton.		

### Summary

The purpose of this report is to refer to Council for comment EMEL31268, an Extractive Mineral Exploration Licence Application at Section 220, 221, 1002 and 1003, Hundred of Colton, included as Attachment A, pursuant to Section 78 of the Mineral Titles Act.

This report recommends that Council support the application.

The report also presents for Council endorsement the *Letter of Comment* provided to the Department of Mines and Energy dated 18 April 2016.

### Recommendations

- THAT Council:
1. support EMEL31268, an Extractive Mineral Exploration Licence Application
  2. endorse Councils Letter of Comment (Attachment B), for EMEL31268, an Extractive Mineral Exploration Licence Application at Section 220, 221, 1002 and 1003, Hundred of Colton.

### Background

Site and Surrounds

The subject site is Section 220, 221, 1002 and 1003, Hundred of Colton, as shown in the map(s) below and included in Attachment A.



*STRIKE tenure and geoscience information system.*

The EMEL application is situated over 4 blocks in total on vacant Crown Land. The blocks run off the Byers Road, and at this stage the access points remain unclear in the application. This block is zoned Rural (R) as are the surrounding lots.

Current Proposal

The application proposes for exploration for various types of gravel.

Application Assessment

As the current application is for an exploration licence only, there is no risk to Council's infrastructure or amenity of neighbouring residents at this time.

Conclusion

It is recommended that Council provide a letter of no comment on the application.

Links with Strategic Plan

2. A great place to live

Legislative and Policy Implications

Nil

Risks

Nil

Financial Implications

Nil

Recommending Peter Reeve, Acting General Manager Infrastructure and Planning Officer:

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting or a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*

## Natasha McAlister

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**From:** Parul Chandel <Parul.Chandel@nt.gov.au> on behalf of Titles Info DME <TitlesInfo.DME@nt.gov.au>  
**Sent:** Thursday, 23 June 2016 11:24 AM  
**To:** Council  
**Subject:** Doc 295132 Request for Comments EMEL31268  
**Attachments:** EMEL31268 map.pdf

Good Morning,

Just a friendly reminder about the comments required for EMEL31268 as the initial request was sent two months ago and we are waiting for a response. Could you please provide us with comments if any till next Thursday 30 June 2016.

Should you have any questions please contact me on the below number.

Kind regards,

**Parul Chandel | Titles Officer | Mineral Titles Division**

Department of Mines and Energy

Northern Territory Government

L5 Centrepoin Building, 48-50 Smith Street, Darwin

GPO Box 4550, Darwin, NT 0801

ABN: 84 085 734 992

**E:** [titles.info@nt.gov.au](mailto:titles.info@nt.gov.au) | **T** +61 8 8999 5322 | **F** +61 8 8981 7106 | **W** <http://www.minerals.nt.gov.au>

**Our Vision:** Creating a public sector that provides the highest quality service to Territorians

**Our Values:** **Commitment to Service** | **Ethical Practice** | **Respect** | **Accountability** | **Impartiality** | **Diversity**

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**From:** Damian Hokin

**Sent:** Monday, 18 April 2016 12:00 PM

**To:** PWCDMReferrals@powerwater.com.au; council@lsc.nt.gov.au; Planning Coordinator; Gary Smethurst; Parkplanning PWCNT; Dev TIPD; DevelopmentAssessment DLRM

**Subject:** Request for Comments EMEL31268

Good Morning,

The following proposed application has been received. Maps are attached for your reference.

Please provide your comments, if any, within 28 days of this email.

**EMEL:** 31268  
**Titleholder:** Aldebaran Contracting Pty Ltd  
**To Extract:** to explore for various types of gravel.  
**Land Tenure:** Sec. 220, 221, 1002, 1003 HD of Colton  
**Location:** Noonamah  
**Map:** 8/5  
**Area:** 2 blocks  
**Term:** 2 years  
**Contact:** [capex@bigpond.net.au](mailto:capex@bigpond.net.au)

Should you have any queries please contact me.

Kind regards

**Damian Hokin | Titles Officer | Titles Management Team | Customer Service | Mineral Titles Division**

Department of Mines and Energy

Northern Territory Government

L5 Centrepoint Building, 48-50 Smith Street, Darwin

GPO Box 4550, Darwin, NT 0801

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T +61 8 8999 5322 | F +61 8 8981 7106 | E [titles.info@nt.gov.au](mailto:titles.info@nt.gov.au) | W <http://www.minerals.nt.gov.au>

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27 June 2016

Mr Steven Kubasiewicz  
Development Assessment Services  
Department of Lands and Planning and the Environment  
GPO Box 1680  
Darwin NT 0801

Dear Steve

**PA2016/0373**  
**Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot**  
**Change of use from shop to medical clinic (tenancies 6 and 7)**

Thank you for the Development Application referred to this office on 17/06/2016, concerning the above. This letter may be tabled at Litchfield Council's next Council Meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

**Council supports the granting of a Development Permit for the following reasons:**

- a) The development is in line with the type of commercial development expected in the area.

**provided the following issues are adequately addressed:**

- a) Council believes that the appropriate amount of car parking should be provided for this new proposed development and the other uses on the site. The application does not provide an assessment of the car parking required for the site and any additional car parking required for this use. A review of previous applications for the site indicate that car parking previously required for the site may not yet be fully constructed.

The application requires 16 car parking spaces for the medical clinic and Council believes that medical clinics are typically associated with a high rate of utilisation of the required car parking.

Council requests that the consent authority require all required car parking to be shown on plans and appropriately constructed on site prior to operation of the use as a medical clinic.

- b) The plans currently provided with the application indicate several "roadways" within the property boundary. In actuality, these are "driveways" rather than Council "roadways" and Council requires that the plans be amended to indicate "driveways".

**Should the application be approved, the Council requests the following conditions be included as Condition Precedents in any Development Permit issued by the consent authority:**

- a) The crossover and driveway shall meet Litchfield Council's requirements, and the following changes to the proposed plans are required:
  - i. In order to avoid confusion with formal Council roadways, it is required that the notations on plans referencing "roadways" within the site boundaries be amended to refer to "driveways" to accurately reflect the nature of these access features.

**Should the application be approved, the following conditions pursuant to the Planning Act and Council's responsibility under the Local Government Act are also recommended for inclusion in any Development Permit issued by the consent authority:**

- a) The kerb crossovers and/or driveways to the site are to meet the technical standards of Litchfield Council. The owner shall remove disused crossovers; provide footpaths/cycleways, as required by Litchfield Council; collect stormwater and discharge it to the drainage network; and undertake reinstatement works; all to the technical requirements and satisfaction of the General Manager Infrastructure and Planning, Litchfield Council, and at no cost to Litchfield Council.
- b) No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and public street, to the satisfaction of the General Manager Infrastructure and Planning, Litchfield Council.
- c) Soil erosion control and dust control measures must be employed throughout the construction stage of the development to the satisfaction of the consent authority.
- d) Any developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure and Planning, Litchfield Council.

**Should the application be approved, the following notes are recommended for inclusion in any Development Permit issued by the consent authority:**

- a) Inspection fees and charges may apply in accordance with Litchfield Council's current Municipal Plan. Additional information can be found at [www.litchfield.gov.nt.au](http://www.litchfield.gov.nt.au).
- b) A *Works Permit* is required from Litchfield Council before commencement of any work within the road reserve, which would include creation of any driveway crossover connecting to Litchfield Council's street network.

If you require any further discussion in relation to this application, please do not hesitate to contact me on 08 8983 0600.

Yours faithfully



Peter Reeve  
Acting General Manager Infrastructure and Planning

*1985-2015 Celebrating 30 years of Local Government in Litchfield*

Tel (08) 8983 0600 • Fax (08) 8983 1165 • Email [council@litchfield.nt.gov.au](mailto:council@litchfield.nt.gov.au)  
7 Bees Creek Road, Freds Pass NT 0822 • PO Box 446 Humpty Doo NT 0836 • [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au)  
ABN: 45 018 934 501



Agenda Item Number:	13.2	Report Number:	16/0149
Report Title:	PA2016/0373, a Development Application for change of use from shop to medical clinic (tenancies 6 and 7) at Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	Attachment A: Development Application PA2016/0373. Attachment B: Council's letter of comment for PA2016/0373, a Development Application for change of use from shop to medical clinic (tenancies 6 and 7) at Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot.		

## Summary

The purpose of this report is to provide a summary and assessment to Council of PA2016/0373, a Development Application for change of use from shop to medical clinic (tenancies 6 and 7) at Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot, included as Attachment A.

The application is for a change of use, which requires development approval.

The report also presents for Council endorsement the Letter of Comment on PA2016/0373 provided to the consent authority on 28 June 2016, included as Attachment B.

This report concludes that Council should support the application subject to adequate car parking being provided on site and amendments to notations to roadways on the plans.

## Recommendations

THAT Council:

1. endorse Attachment B, Council's Letter of Comment for PA2016/0373, a Development Application for change of use from shop to medical clinic (tenancies 6 and 7) at Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot, the assessment of which is summarised above and reviewed in detail within the body of this report.

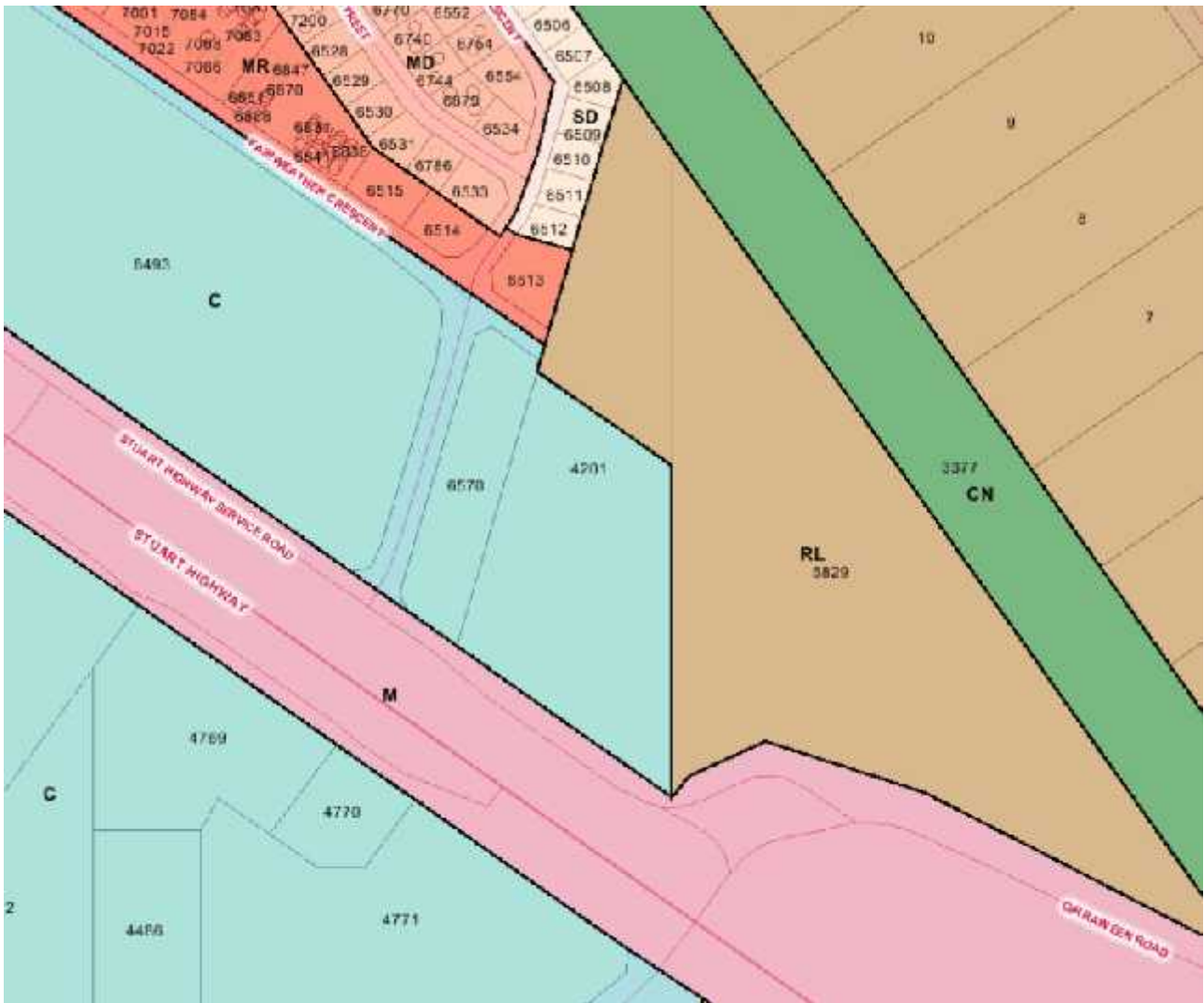
## Background

### Site and Surrounds

The subject site is 465 Stuart Highway, Coolalinga, which is a 4.01ha site on the northern side of the Stuart Highway, near the Girraween Road roundabout.

The southern portion of the subject site closest to the Stuart Highway Service Road, which is the subject of this application, is located in Zone C (Commercial). The northern, or rear, portion of the subject site is located in Zone RL (Rural Living).

The subject site is currently developed with two small strip commercial developments, including the Puma service station. Surrounding development to the west is also located in Zone C (Commercial) and developed with similar type uses. A conservation zone and land in Zone RL (Rural Living) is located to the north and east of the site. The Stuart Highway Service Road and Stuart Highway is located to the south of the subject site.



NT Atlas and Spatial Directory

### Site Development History

The site has been the subject of numerous development applications over the past several decades, with a variety of commercial uses approved for the front/southern portion of the site that is the subject of the current application.

Most recently, there has been a strip of new commercial development constructed along the eastern site boundary, which required additional car parking to be developed for the site to the rear of the existing commercial strip along the southern boundary.

### Current Proposal

The current application proposes to turn existing shops at Tenancies 6 and 7 into a medical clinic use. The medical clinic is proposed to have four consulting rooms, a reception and waiting area, offices and staff lounge. The application indicates that it is believed the parking on site should be sufficient to cater for the new use; however, no formal assessment of existing allocated parking has been undertaken.

### Application Assessment

The proposed change of use to medical clinic is supported as that type of use is allowable in the subject zone and suitable for the proposed location. The medical clinic use requires 16

car parking spaces under the NT Planning Scheme and it is expected that in this semi-rural location those spaces would be fully utilised by the proposed development. Given that, it is of concern to Council that the appropriate car parking to service all uses on the site be provided on the site.

From information provided within the application, it appears that previous development applications for the site had committed to constructing additional parking to rear of the existing commercial uses across the front of the site, as part of Stage 2 development. However, a site investigation revealed that these spaces have not yet been constructed. In the absence of a full assessment of all parking required for the site and existing on the site, it is unclear whether the new proposed use will require additional parking to be constructed. Should additional car parking be required for the proposed use, this parking should be provided prior to the new use being opened.

It is also noted that the drawings provided with the application refer to internal driveways on the site as "roadways". In order to avoid confusion with formal Council roadways, it is recommended that the notations be amended to refer to driveways.

### Conclusion

It is recommended that Council support the application subject to adequate car parking being provided on site and amendments to notations to roadways on the plans.

### Links with Strategic Plan

#### 2. A Great Place To Live

### Legislative and Policy Implications

Nil

### Risks

Nil

### Financial Implications

Nil

Recommending Officer      Peter Reeve, Acting General Manager Infrastructure and Planning

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting of a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*



06 June 2016

Development Consent Authority  
GPO Box 1680  
Darwin NT 0801

**RE: *Shops 6 & 7 Section 4201 (465) Stuart Highway, Coolalinga  
Hundred of Bagot***

**Details of the Proposal**

This planning application seeks consent for the development of a medical clinic within an existing commercial building. The purpose of this application is to construct a new medical clinic for shops 6 and 7 as previously been occupied as shop. The proposed medical clinic will provide additional and immediate health care system near its surrounding suburbs. Each new medical clinic being built will take pressure off our public hospitals and improve the financial sustainability of our health and hospital system. The proposed development will help ease the growing demand of health care facilities and provide a more convenient access to health services due to the growing population in the area in the near future.

The proposed clinic will consist of a waiting lounge; reception; 4 consulting rooms (GP Rooms); toilet facilities; storage room; offices and staff lounge. The total floor area of the proposed medical clinic is approximately 150 sqm.

The proposed development will consist of new internal walls made of steel stud wall framing infill and 200 blockwall for external to match existing. The entrance at the front will be used for staff entry while the entrance from the internal arcade will be used by patients and clients.

The approximate total area of the lot is 40,100 sqm and zoned as MZ. Medical clinic in this zone is discretionary; therefore, the use and development are consistent with the planning principles.

**Statement of Effect**

***46(3)(a) an assessment demonstrating how the proposed development will comply with any planning scheme that applies to the land;***

**Clause 6.4 – Plot Ratios**

The building and its tenancies already exist. The proposed development is mostly internal works. The current proposal will not add any additional floor area.



### **Clause 6.5.1 – Vehicle Parking**

The proposed medical clinic has 4 medical consulting rooms therefore requiring 16 carparking spaces. There are approximately 200 car parking spaces allotted on site which will be sufficient even with the proposed development. Presently, the property has a lot of available open space/land therefore additional carparking spaces can be sought or created to accommodate any additional requirements. A public transport is also available with a designated bus stop directly in front of the property.

As noted on site, all external areas were sealed and suitably drained and double access way have been provided to the street frontages where entry and exit points were designated as well.

### **Clause 8.2 Commercial and other Development in Zones HR, CV, CB, C, SC, TC, OR, CP, FD AND T**

Since the building is already old and existing, most of the design requirements have already been met. All new internal works and facilities were provided and designed as per the building code and standards to offer safety and convenience to both staff and patients.

#### **46(3)(b) an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land;**

Not applicable.

#### **46(3)(c) if a public environmental report or an environmental impact statement has been prepared or is required under the Environmental Assessment Act in relation to the proposed development, a copy of the report or statement and the results of any assessment of the report or statement under that Act by the Minister administering that Act;**

Not applicable as the variation on the proposed development are permitted and common within the commercial precinct.

#### **46(3)(d) an assessment demonstrating the merits of the proposed development;**

The proposed variation and development application will not alter or affect any existing approved physical amenities of the whole site area since proposed constructions are mostly internal changes. The proposed medical clinic will complement the existing development within the service area.

The proposed development once constructed will enhance the existing and future amenity of the land, maintaining the good business character of the commercial area.

#### **46(3)(e) a description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of development on that land and other land;**



The land and site has an irregular shape and a relatively flat surface which has been previously approved for the existing development.

**46(3)(f) a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for public facilities or public open space is to be provided by the developer and whether it is proposed that facilities or open space be developed by the developer;**

Not applicable, as the immediate area is an existing commercial zoned lot.

**46(3)(g) a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirement for public facilities and services to be connected to the land and whether public utilities or infrastructure are to be provided by the developer or land is to be provided by the developer for the provision of public utilities or infrastructure;**

Existing infrastructure are in-place to service the existing building. There are adequate existing public utilities and infrastructure that can support the development. All electrical and water supply to the new building will be supplied and installed to all Power and Water requirements.

**46(3)(h) an assessment of the potential impact on the existing and future amenity of the area in which the land is situated;**

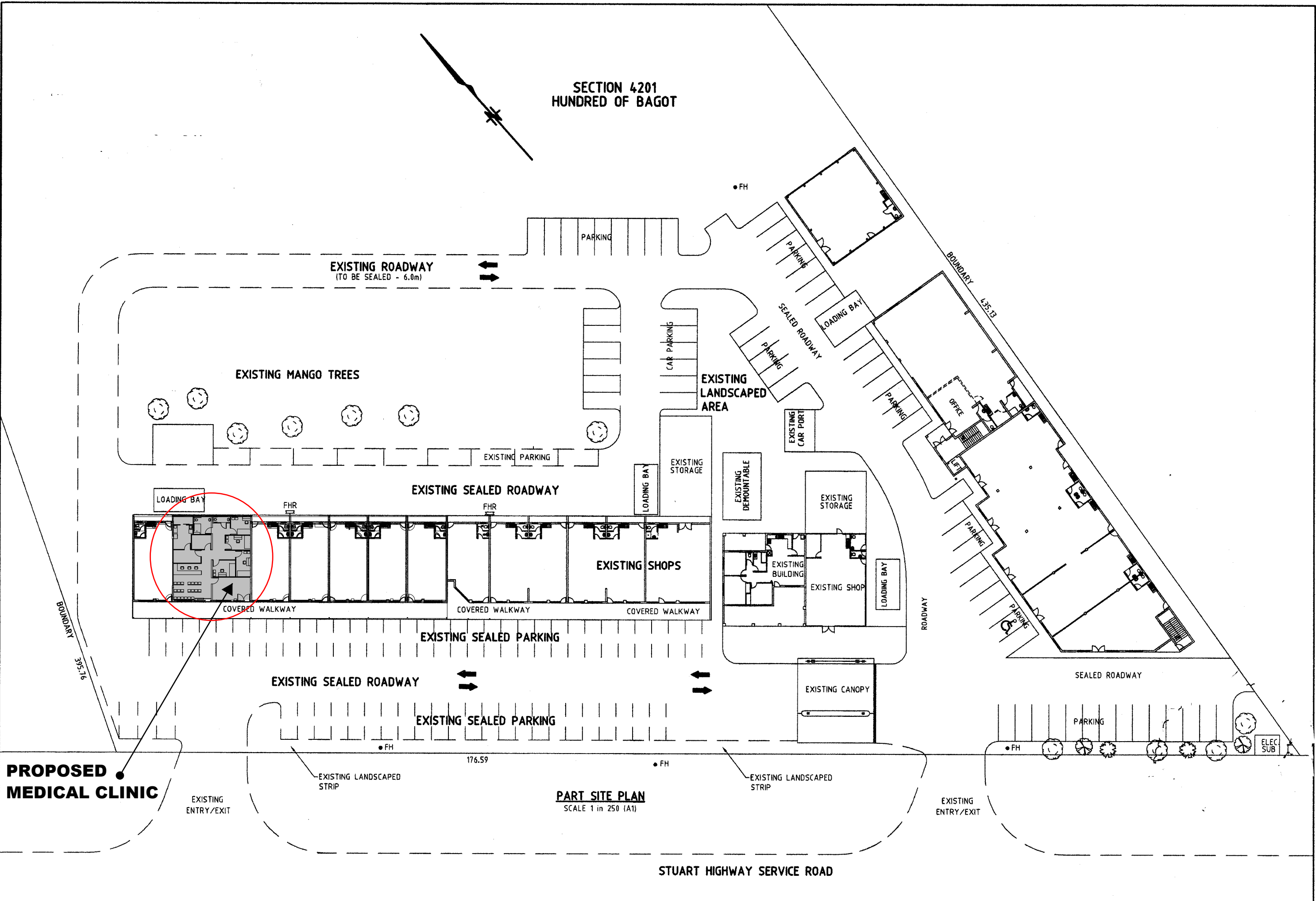
The proposed alterations are mostly internal and will not affect or interfere with the physical aspect and surrounding amenities of the previously approved development. The proposed medical clinic will sustain and improve the required medical facilities of the surrounding neighbourhood. It will also display merit as a functional addition to the existing developments within the precinct and important benefit to the community.

**46(3)(j) an assessment of the benefit or detriment to the public interest of the development;**

The proposed variation to the existing development is minimal and as such no adverse impact will be imposed on the streetscape or overlooking of adjoining properties. The proposed medical clinic is suitably sized, located and zoned to accommodate the current and future needs of the building and its surrounding neighbourhood. It will complement and enhance the business character of the land without unduly affecting nearby properties, ensuring no detriment to the public interest of the development. The proposed medical clinic will provide a new medical facility that will add and cope with the growing demand of health care system and services that also best meets the needs of people coming from surrounding suburbs and local communities for immediate medical treatment, care and assistance.



SECTION 4201  
HUNDRED OF BAGOT



**PROPOSED  
MEDICAL CLINIC**

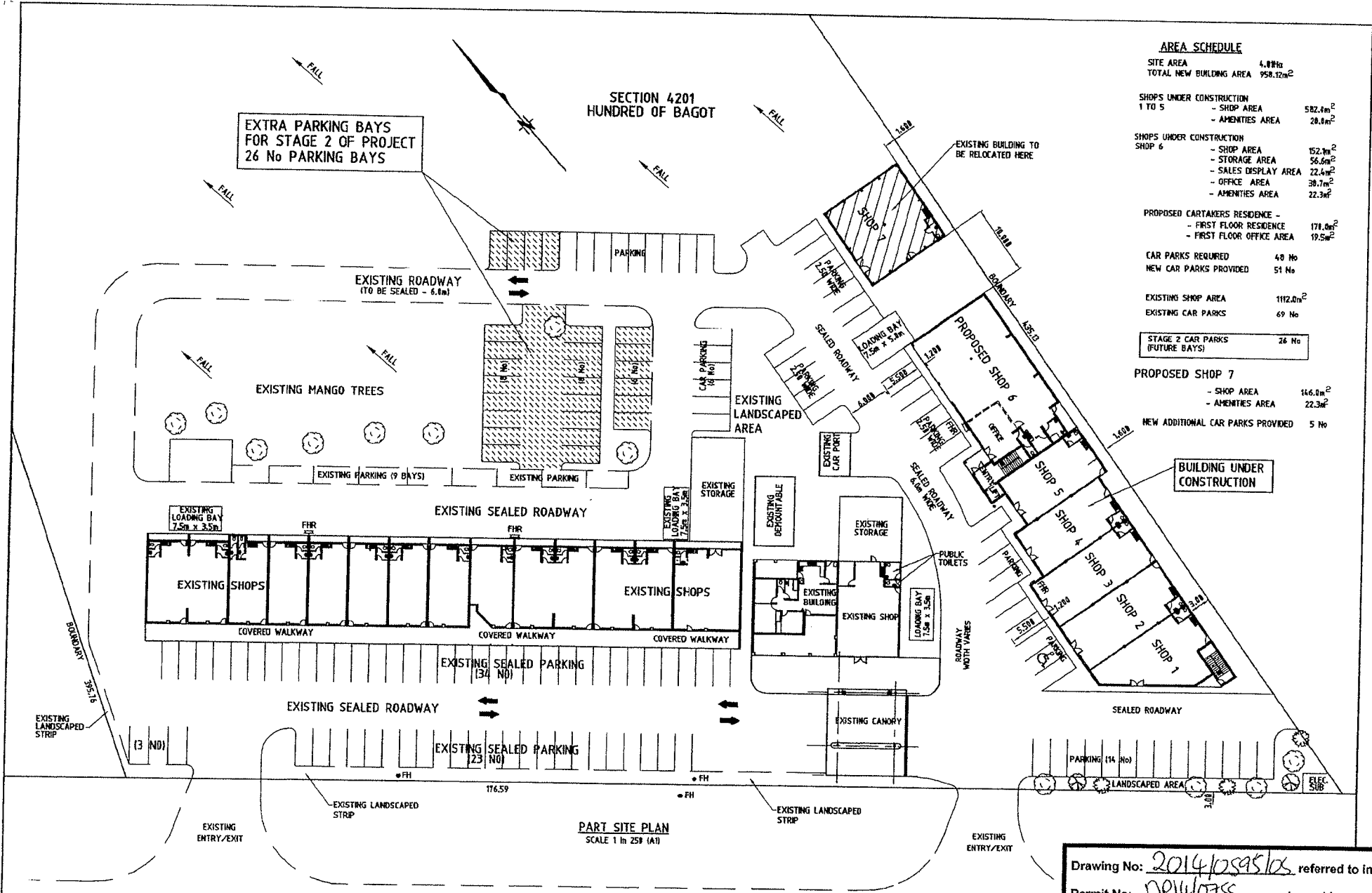
**PART SITE PLAN**  
SCALE 1 in 250 (A1)

SECTION 4201  
HUNDRED OF BAGOT

EXTRA PARKING BAYS  
FOR STAGE 2 OF PROJECT  
26 No PARKING BAYS

AREA SCHEDULE

SITE AREA	4.01Ha
TOTAL NEW BUILDING AREA	958.12m <sup>2</sup>
SHOPS UNDER CONSTRUCTION	
1 TO 5	- SHOP AREA 582.6m <sup>2</sup>
	- AMENITIES AREA 28.6m <sup>2</sup>
SHOPS UNDER CONSTRUCTION	
SHOP 6	- SHOP AREA 152.7m <sup>2</sup>
	- STORAGE AREA 56.6m <sup>2</sup>
	- SALES DISPLAY AREA 22.4m <sup>2</sup>
	- OFFICE AREA 38.7m <sup>2</sup>
	- AMENITIES AREA 22.3m <sup>2</sup>
PROPOSED CARTAKERS RESIDENCE -	
	- FIRST FLOOR RESIDENCE 171.0m <sup>2</sup>
	- FIRST FLOOR OFFICE AREA 19.5m <sup>2</sup>
CAR PARKS REQUIRED 48 No	
NEW CAR PARKS PROVIDED 51 No	
EXISTING SHOP AREA 1112.0m <sup>2</sup>	
EXISTING CAR PARKS 69 No	
STAGE 2 CAR PARKS (FUTURE BAYS) 26 No	
PROPOSED SHOP 7	
	- SHOP AREA 146.9m <sup>2</sup>
	- AMENITIES AREA 22.3m <sup>2</sup>
NEW ADDITIONAL CAR PARKS PROVIDED 5 No	

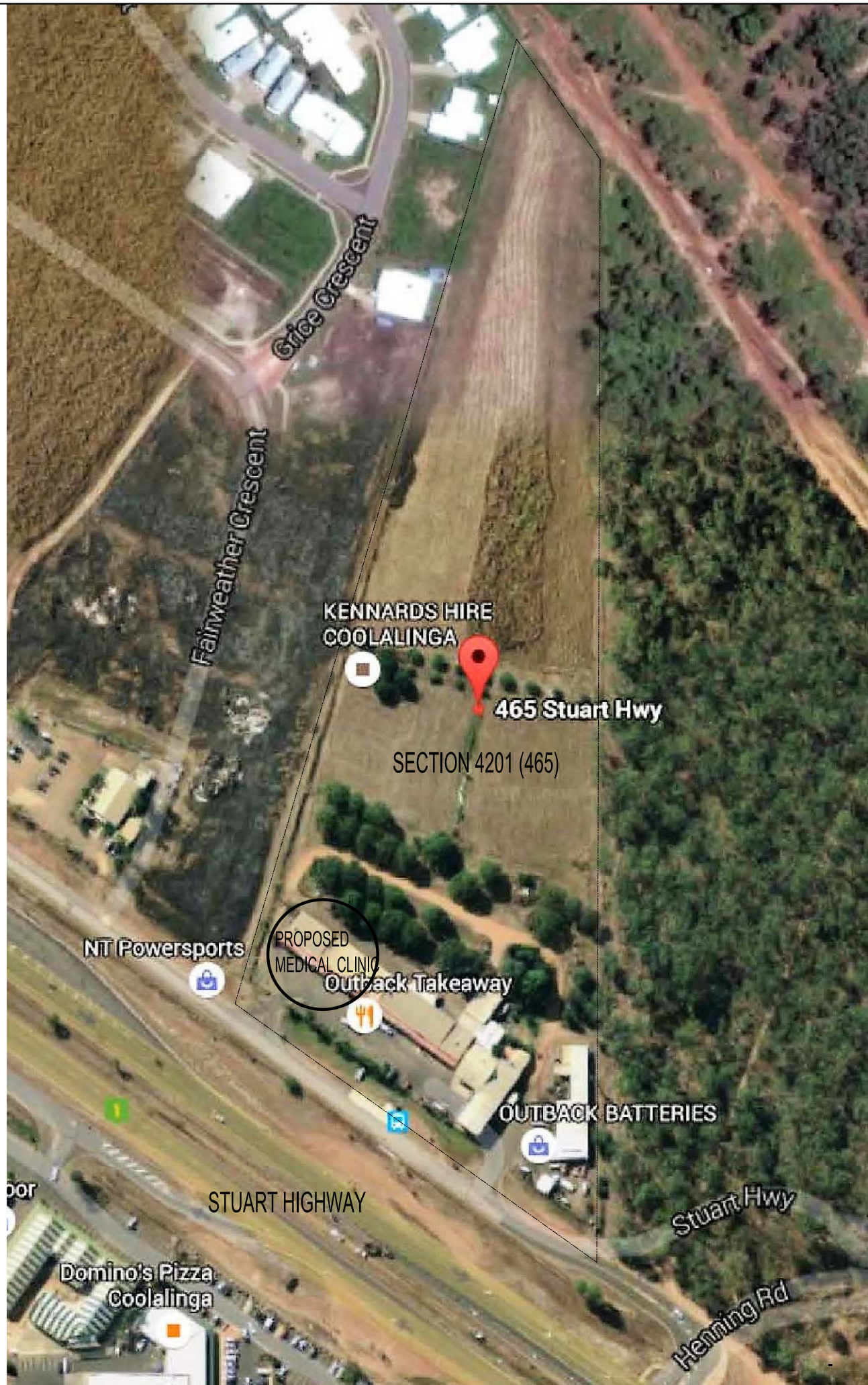


PART SITE PLAN  
SCALE 1 in 250 (A1)

PROPOSED RELOCATION OF EXISTING SHED ON SECTION 4201 HUNDRED OF BAGOT - STUART HIGHWAY - HOWARD SPRINGS - FOR A. &

Drawing No: 2014/0295/02 referred to in  
 Permit No: DP140735 issued by  
 the consent authority on: 31/10/2014  
 Consent Authority/Delegate





**BUILDING NOTES:**

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT CURRENT SAA CODES, INCLUDING ALL AMENDMENTS AND LOCAL STATUTORY AUTHORITIES' REGULATIONS.
- VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION/FABRICATION COMMENCES - REPORT ANY DISCREPANCIES FOR CLARIFICATION - DO NOT SCALE OFF DRAWINGS.
- WHERE DTC STANDARDS ARE SHOWN, THESE REFER TO THE "DEEMED TO COMPLY" STANDARDS PREPARED BY THE N.T. DEPARTMENT OF LANDS AND HOUSING.
- WET AREAS TO BE IN ACCORDANCE WITH AS3740. PROVIDE CERAMIC WALL TILES AROUND SHOWERS TO A MINIMUM 1800 ABOVE SHOWER FLOOR LEVEL, AND AS SPLASHBACKS TO BASINS, SINKS AND TROUGHS - MIN 300 HIGH - AS3470.
  - GENERALLY, ARTIFICIAL LIGHTNING TO BE IN ACCORDANCE WITH AS1680
- ALL HABITABLE AND AMENITY AREAS TO BE VENTILATED TO
  - A) NATURAL VENTILATION TO BCA F4.6
  - B) MECHANICAL VENTILATION OR A/C SYSTEM TO AS1668.2 & AS3666 - MECHANICALLY VENTILATE ALL TOILETS - VENTED OUTSIDE.
- EXIT DOORS TO BE PROVIDED WITH PUBLIC SAFETY HARDWARE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA).
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS2444. PORTABLE EXTINGUISHERS TO BE INSTALLED WITHIN THE NTFRS RECOMMENDATIONS
- FIRE INDICES OF MATERIALS TO BE IN ACCORDANCE WITH BCA PART D2. FIRE INDICES OF FLOOR MATERIALS TO COMPLY WITH THE FOLLOWING -
  - SPREAD OF FLAME INDEX NOT MORE THAN 9
  - SMOKE DEVELOPED INDEX NOT MORE THAN 5 IF SPREAD OF FLAME IS MORE THAN 8
  - DISABLED ACCESS TO COMPLY WITH AS1428.1
  - - DOOR CONTROLS TO BE LOCATED 1000 ABOVE FFL
  - - LIGHT SWITCHES TO BE LOCATED 1100 ABOVE FFL TO THE BUTTON
- SANITARY FACILITIES - PARTITIONS TO THE TOILETS TO BE 1800mm HIGH
- DISABLED TOILET FIXTURES TO COMPLY WITH AS1428.1
- - BRAILLE SIGNAGE TO BE PROVIDED TO DISABLED TOILET, LOCATED AT HEIGHT AS PER BCA (1300mm TO THE BRAILED TEXT WITHIN THE SIGN).
- EMERGENCY LIGHTNING TO COMPLY WITH AS2293.1 & TO NTFRS RECOMMENDATIONS.
- FINISHES TO BE NOTED ON THE DRAWINGS UNLESS NOTED OTHERWISE OR CAN BE SELECTED BY CLIENTS OR CONFIRMED BY BUILDER.
- PROPRIETY MATERIALS SHOULD BE DESIGNED AND CERTIFIED BY THE MANUFACTURER AND CERTIFICATES OF DESIGN AND INSTALLATION TO BE PROVIDED TO CERTIFIER AS REQUIRED.
- THE BUILDER SHOULD BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION AND SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT.
- KEEP THE SITE IN A CLEAN AND TIDY CONDITION THROUGHOUT CONSTRUCTION AND AT THE COMPLETION OF WORK REMOVE ALL LITTER AND DEBRIS TO THE SATISFACTION OF THE OWNER.
- ALL WORKMANSHIP TO BE IN ACCORDANCE WITH ANY RELEVANT AUSTRALIAN STANDARDS PREPARED BY THE STANDARDS ASSOCIATION OF AUSTRALIA.

PROJECT TITLE  
 PROPOSED CLINIC  
 SEC. 4201 (465) STUART HWY COOLALINGA

CLIENT  
 PARTHA MODAK

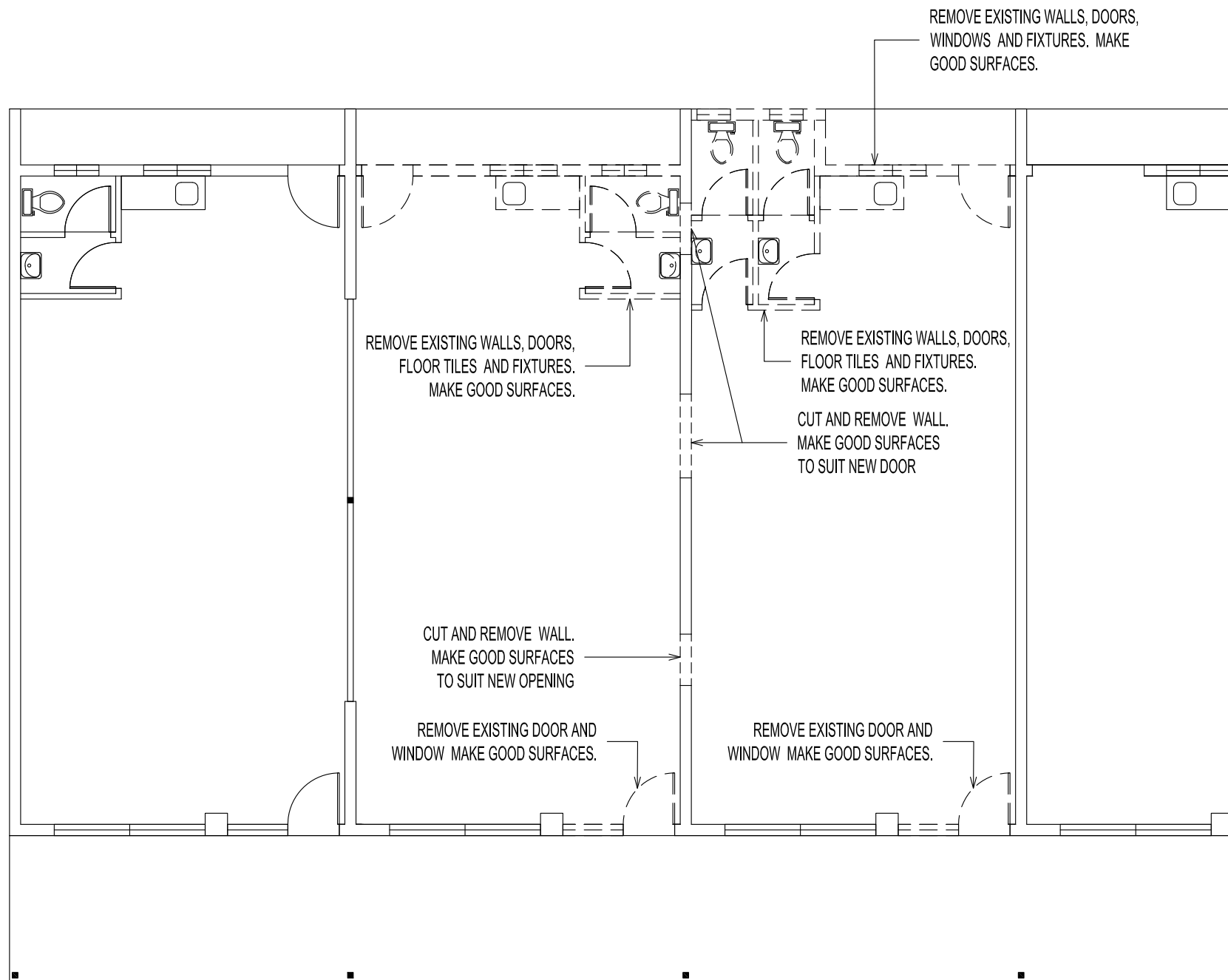
SHEET CONTENTS  
 SITE PLAN  
 BUILDING NOTES

REV. DATE	18/04/2016
DRAWN BY	DATE DRAWN
MP	22/12/2015
REV. NO.	DWG. NO.
	G212-A01



1 SITE PLAN SCALE 1:2000





1 DEMOLITION PLAN  
Scale: 1: 100

**DEMOLITION NOTES**

- DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.
- THE BUILDER SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS BUILDER'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE FINAL DRAWING OR CONTRACT DOCUMENTS. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.
- FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS.
- PRIOR TO ANY DEMOLITION, THE BUILDER SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE BUILDER SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE BUILDER SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
- THE BUILDER SHALL EXERCISE CAUTION WHEN PERFORMING DEMOLITION TO PREVENT THE SPREAD OF DUST AND DEBRIS AND TO PROTECT EXISTING MATERIALS AND FINISHES FROM DAMAGE.
- WHERE EXISTING WALLS, DOORS, VENEERS OR FIXTURES ARE TO BE REMOVED, THE BUILDER SHALL REPAIR, LEVEL AND SMOOTH THE FLOOR, CEILING AND WALL SURFACES REMAINING TO RECEIVE NEW FINISHES.
- WHERE PLUMBING AND/OR FIXTURES ARE TO BE REMOVED, CAP PLUMBING LINES BELOW FLOOR, BEHIND WALL SURFACES, AND ABOVE CEILING. REPAIR SURFACES TO RECEIVE NEW FINISHES.

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
DRAWN BY	MP	DATE DRAWN	22/12/2015
REV. NO.		DWG. NO.	G212-A02

CLIENT  
PARTHA MODAK

SHEET CONTENTS  
DEMOLITION PLAN

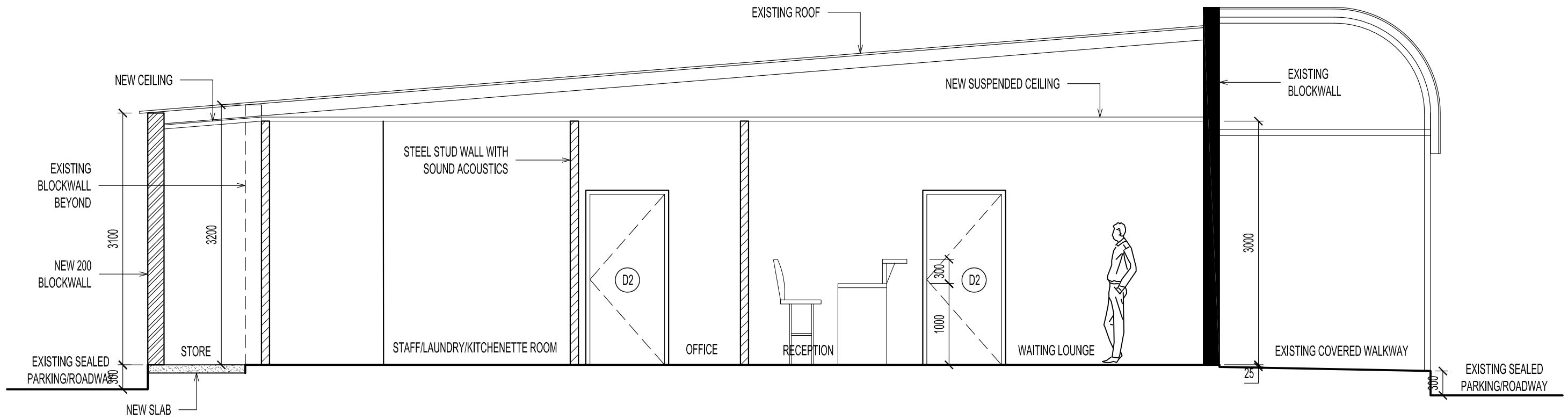


mob.: 0419178263

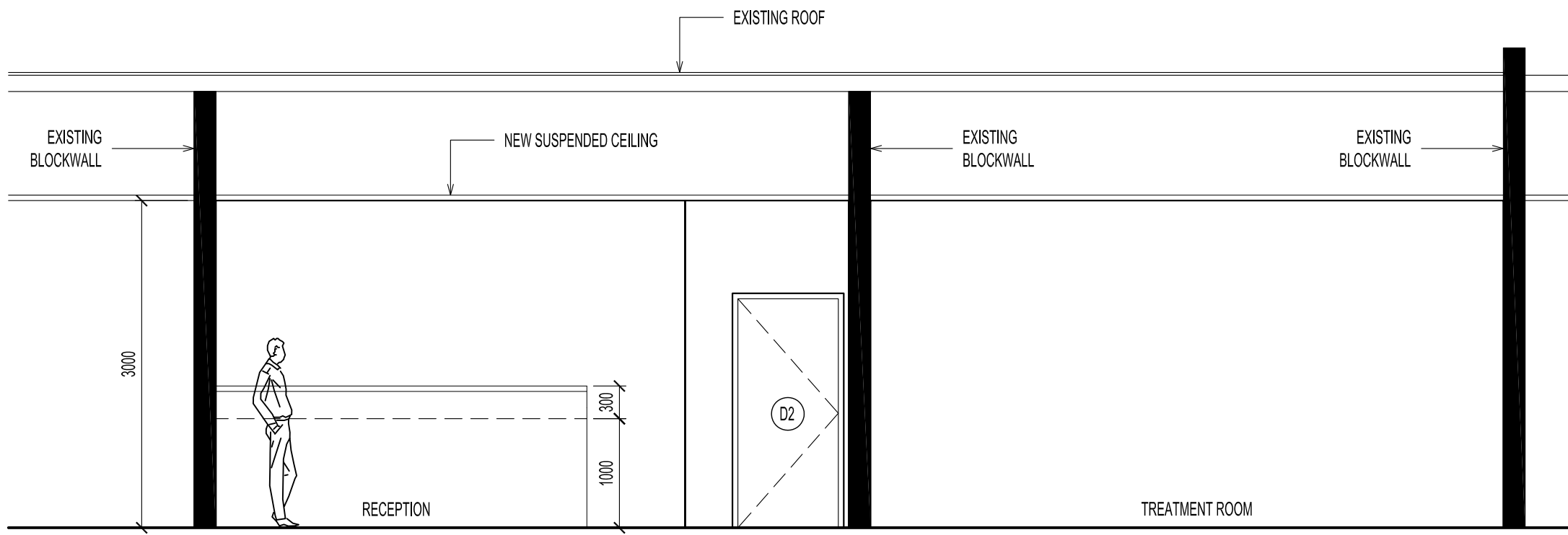
email: rmp@goldbox.com.au



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**1** ELEVATION A  
Scale: 1: 50



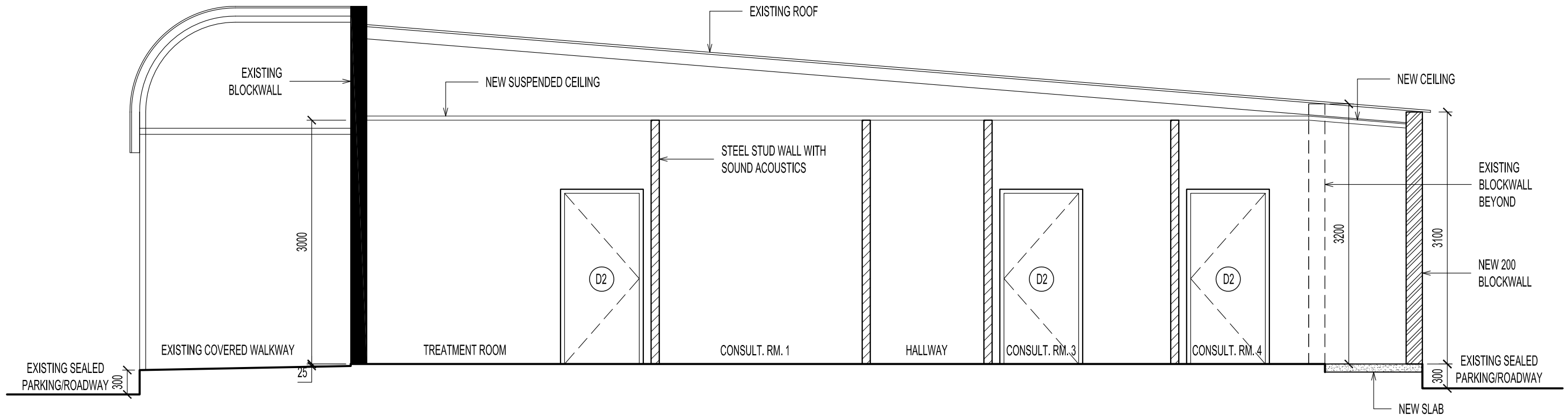
**2** ELEVATION B  
Scale: 1: 50

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
SEC. 4201 (465) STUART HWY COOLALINGA		DRAWN BY	MP
		DATE DRAWN	22/12/2015
CLIENT	PARTHA MODAK	REV. NO.	
		DWG. NO.	G212-A04

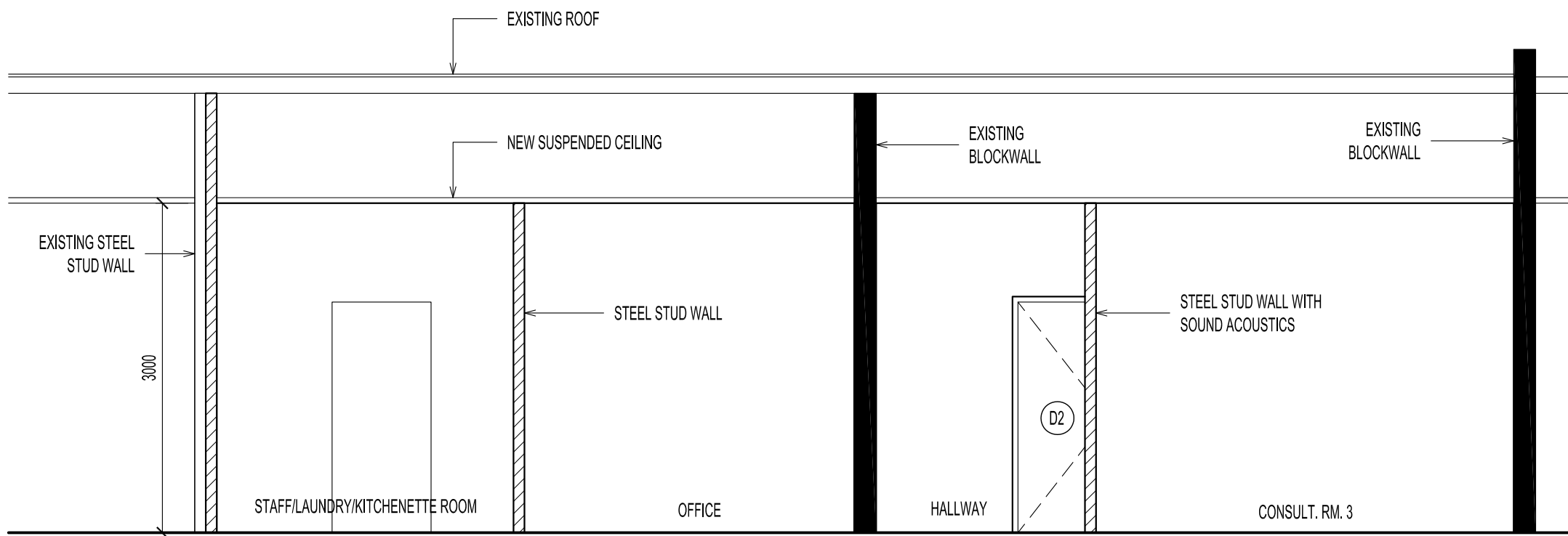
SHEET CONTENTS  
INTERNAL ELEVATIONS

email: [mp@goldbox.com.au](mailto:mp@goldbox.com.au)  
mob.: 0419178263

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**1** ELEVATION C  
Scale: 1: 60



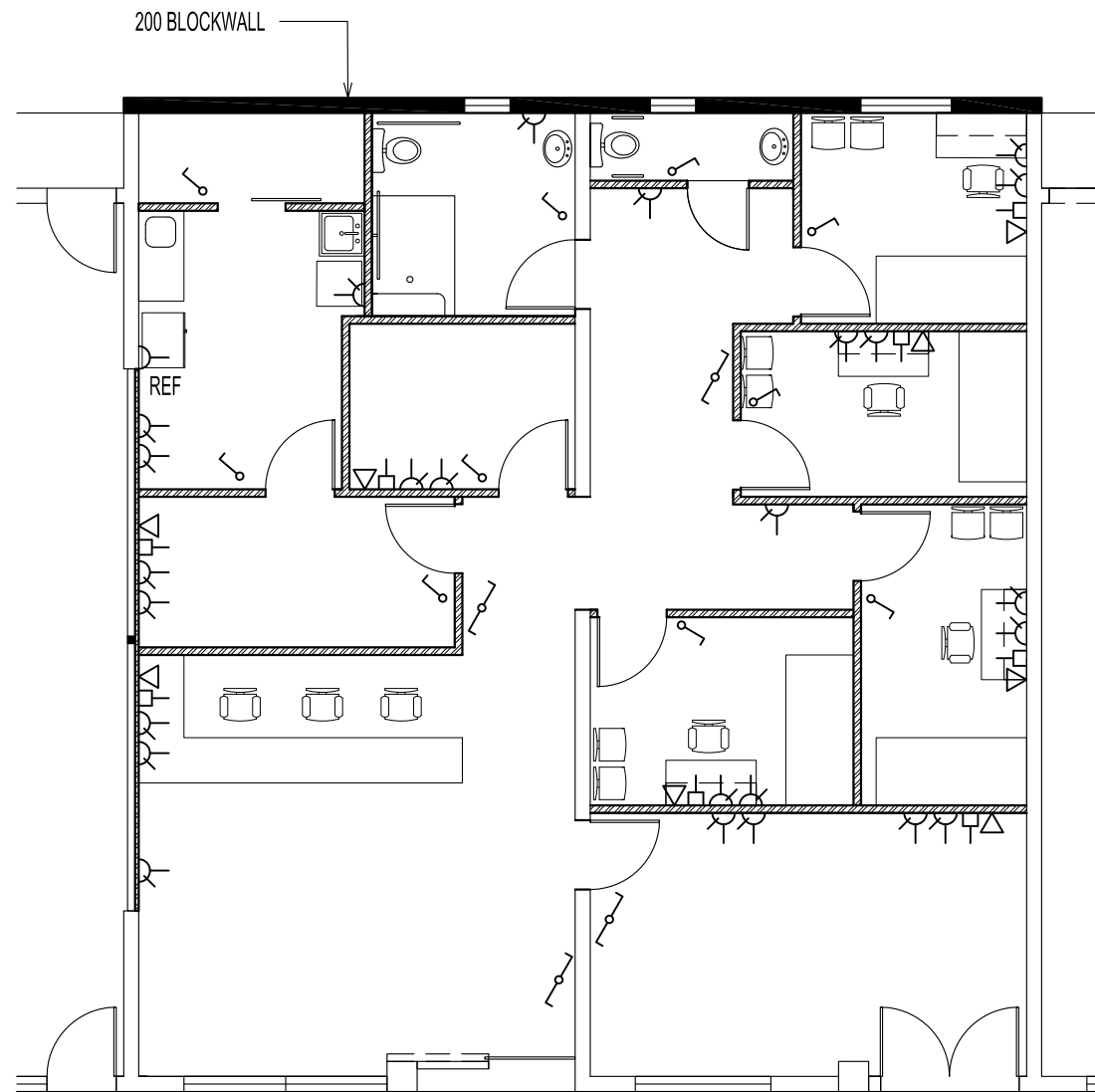
**2** ELEVATION D  
Scale: 1: 60

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
SEC. 4201 (465) STUART HWY COOLALINGA		DRAWN BY	DATE DRAWN
		MP	22/12/2015
CLIENT	PARTHA MODAK	REV. NO.	DWG. NO.
			G212-A05

SHEET CONTENTS  
INTERNAL ELEVATIONS



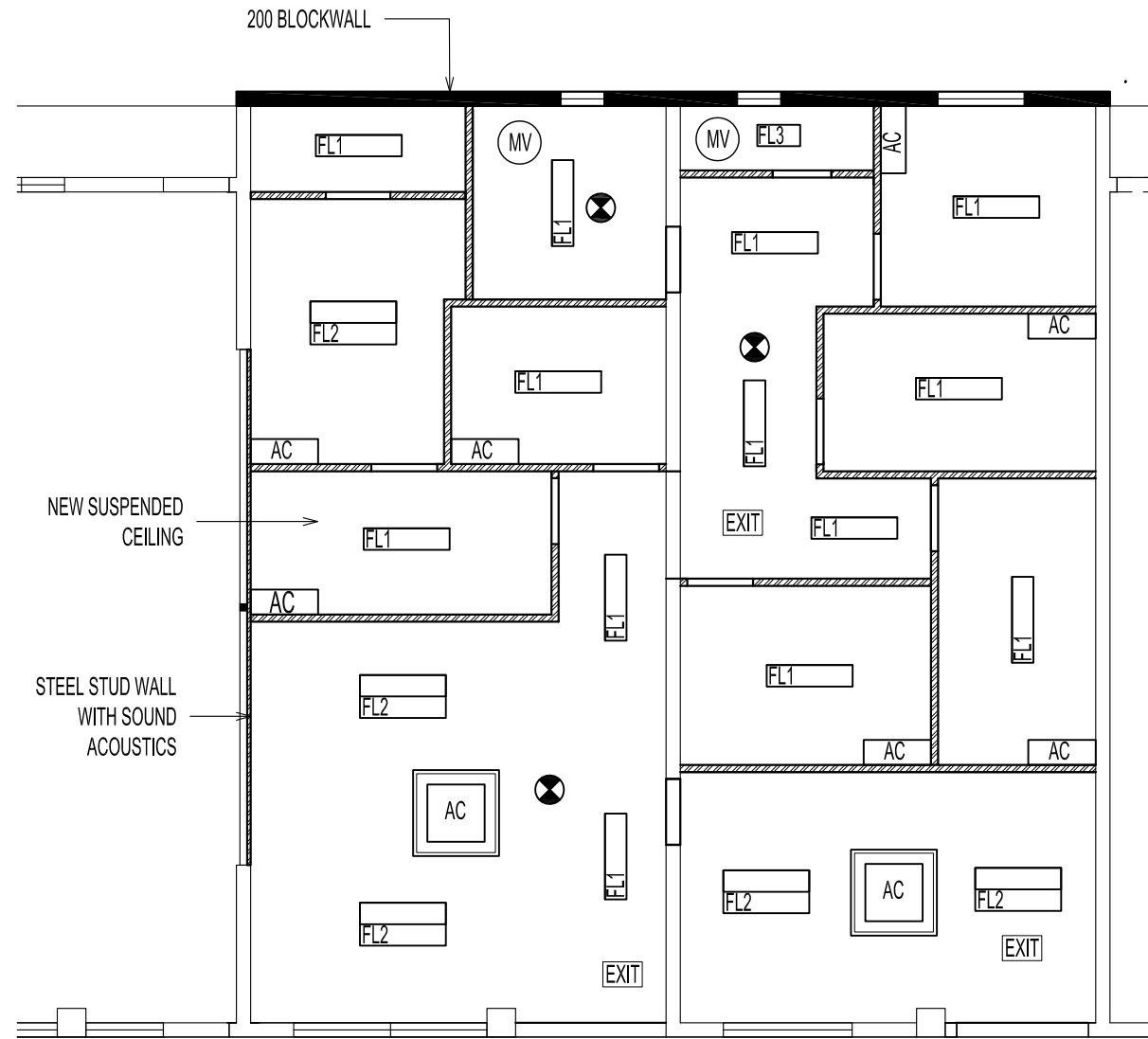
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EXISTING COVERED WALKWAY

1 ELECTRICAL PLAN

Scale: 1: 50

















EXISTING COVERED WALKWAY

2 REFLECTED CEILING PLAN

Scale: 1: 50

LEGEND:

-  SINGLE SWITCH
-  DOUBLE SWITCH
-  DATA LINE
-  PHONE
-  DOUBLE GPO
-  REF REFRIGERATOR GPO
-  FL1 SINGLE 38W FLOURESCENT LAMP
-  FL2 DOUBLE 38W FLOURESCENT LAMP
-  FL3 SINGLE 18W FLOURESCENT LAMP
-  EMERGENCY LIGHT
-  EXIT EXIT/DIRECTIONAL LIGHT
-  AC CEILING MOUNTED AIRCON UNIT
-  AC WALL MOUNTED/SPLIT TYPE AIRCON UNIT
-  MV MECHANICAL VENTILATION

NOTES:

ADDITIONAL ELECTRICAL REQUIREMENTS BY OWNER MAY HAVE TO BE INSTALLED OR RE-ORGANISED PRIOR OR DURING CONSTRUCTION. OWNER REQUIREMENTS SHOULD TAKE PREFERENCE OVER SCALED DRAWINGS AND IF THERE ARE ANY CHANGES, THEY SHOULD BE REFERRED TO THE BUILDING DESIGNER/OWNER FOR CONFIRMATION OF FINAL DESIGN.

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
SEC. 4201 (465) STUART HWY COOLALINGA		DRAWN BY	MP
		DATE DRAWN	22/12/2015
CLIENT	PARTHA MODAK	REV. NO.	
		DWG. NO.	G212-A06

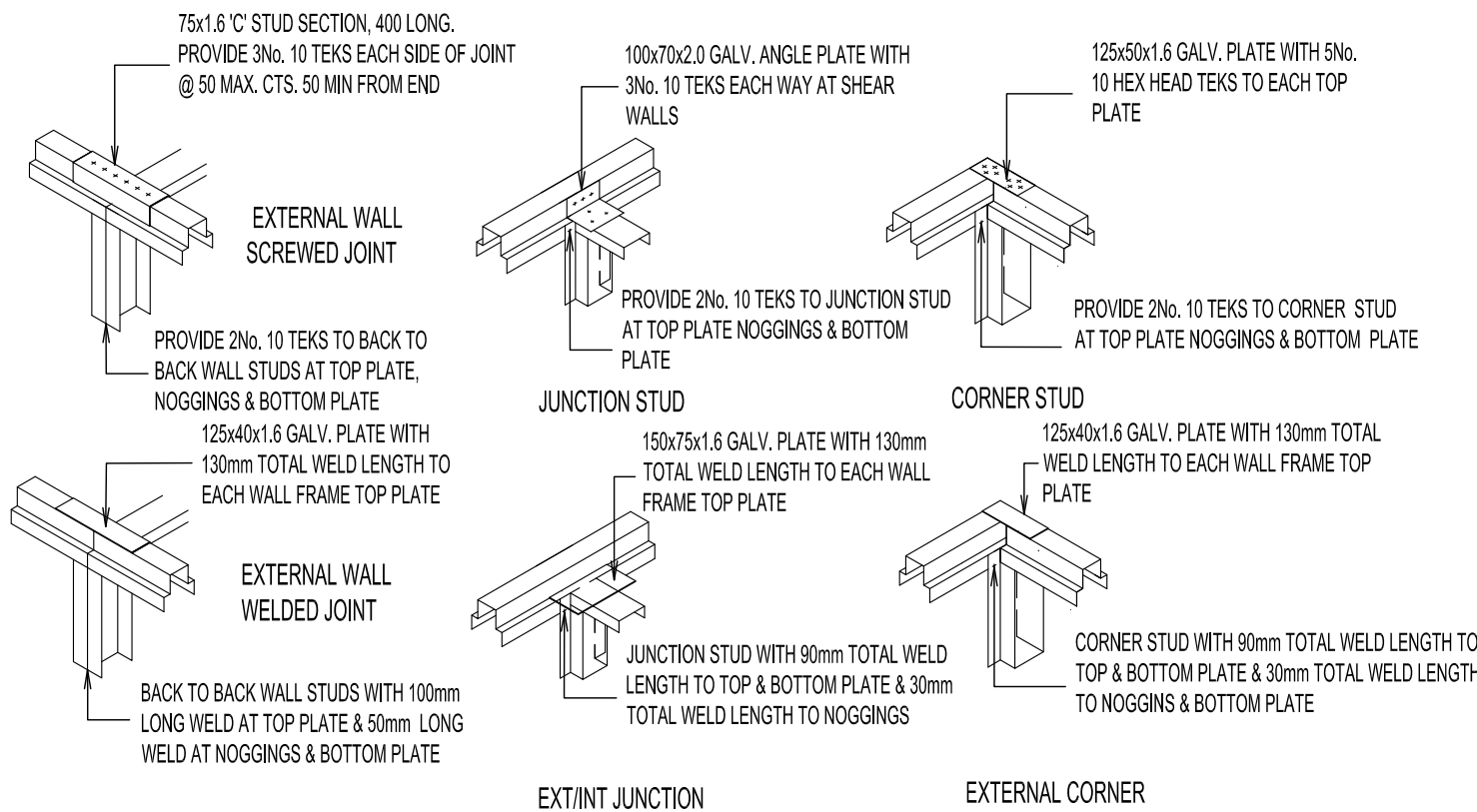
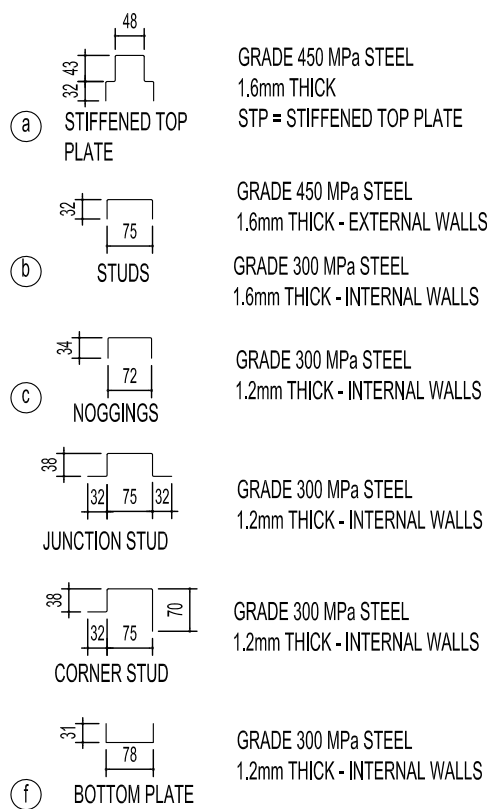
SHEET CONTENTS  
ELECTRICAL PLAN  
REFELCTED CEILING PLAN





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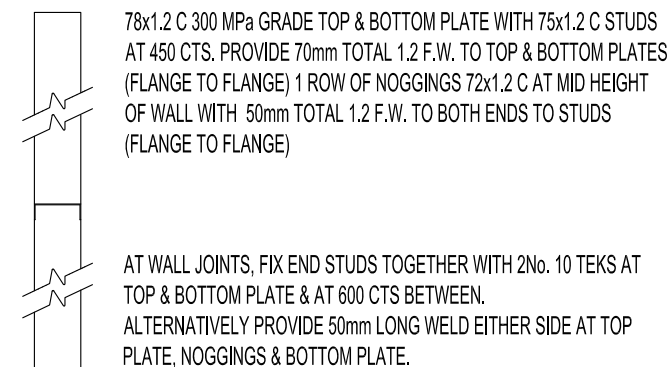
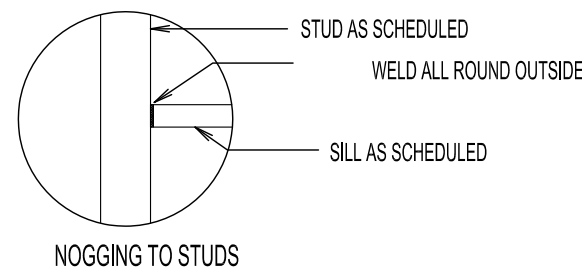
**FRAMING SECTIONS**



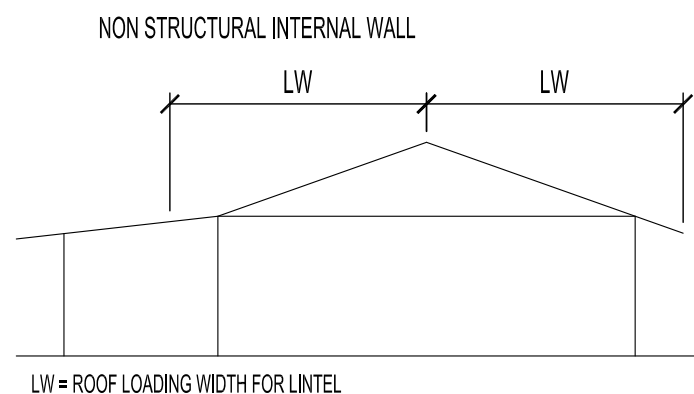
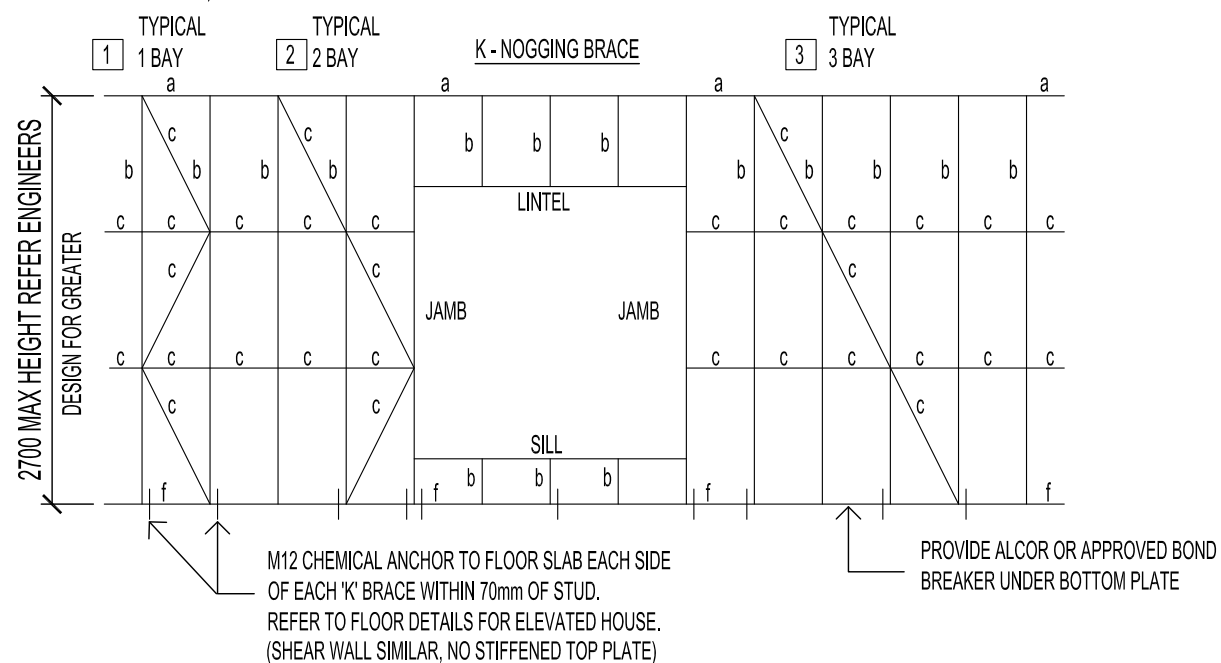
**NOTES:**

- THE STANDARD DETAILS ON THIS DRAWING APPLY UNLESS NOTED OTHERWISE.
- ALL SHS & RHS MEMBERS ARE 'DURAGAL' GRADE C450LO.
- LINTELS SHOWN ARE NOT APPLICABLE SUPPORTING A GIRDER TRUSS.
- WHERE THE WALL FRAME IS NOT LOAD BEARING THE LINTEL MAY BE SAME SIZE AS THE SILL.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH 'LYSAGHT' SPECIFICATION FOR STEEL WALL FRAMING SWF6-1. REFER ALSO TO SWF1-1, SWF2-1 & SWF3-1.
- BRACING & FRAME ELEVATIONS REFER TO WALL FRAME MANUFACTURERS DRAWINGS.
- STUDS AT 450 CTS. MAXIMUM.
- TWO ROWS OF NOGGINGS PLACED EQUALLY AT THIRD POINTS.
- H.D. FIXINGS AT 900 CTS MAXIMUM UNDER OPENINGS.
- 1-HD FIXING TO JAMB FOR 'L' EQUAL TO OR LESS THAN 1820.
- 2-HD FIXING TO JAMB FOR 'L' GREATER THAN 1820 & EQUAL TO OR LESS THAN 2720.
- HOLDING DOWN (HD) - U.N.O. PROVIDE HD FIXINGS AT 900 CTRS. MAX TO EXTERNAL WALLS 1350 CTRS. MAX TO INTERNAL WALLS AND AT SIDES OF OPENINGS AND ENDS OF BRACING PANELS AS NOTED. FIXINGS TO BE LOCATED 70MM CTS. MAX FROM STUD AND PROVIDE A 75x70x6 PLATE WASHER FOR EACH FIXING.
- FOR FIXING TO CONCRETE - USE M12 CAST IN HD BOLTS 120 EMBEDMENT PLUS 50 COG, 45 MIN. EDGE DISTANCE. UNDERSIDE OF BOTTOM PLATE TO BE COATED WITH BITUMINOUS PAINT OR SIMILAR APPROVED CORROSION PROTECTION.
- FIXING TO STEELWORK OR TIMBER - USE BOLTED OR TEK SCREW FIXINGS AS PER DETAILED DRAWINGS.
- ALL WELDS TO BE WELL FORMED 1.6MM CONTINUOUS FILLET MIG PROCESS WITH LWI OR EQUIVALENT ELECTRODES WIRE. WIRE BRUSH TO TOUCH UP ALL WELDS WITH ZINC RICH PAINT.
- WELD LENGTHS AS PER CONNECTION ALL WELDS FLANGE TO FLANGE UNO AND EACH EQUAL SIDE.

MAX. OPENING LENGTH 'L'	LINTEL MEMBER AT MAX ROOF LOADING WIDTH 'LW'			JAMB	SILL
	4000	8000	12000		
0 TO 920	75x75x1.6 SHS	75x75x1.6 SHS	75x75x1.6 SHS	75x50x1.6 RHS	75x1.2 STUD
920 TO 1220	75x75x1.6 SHS	75x75x2.0 SHS	75x75x2.5 SHS	75x50x2.0 SHS	75x1.2 STUD
1220 TO 1520	75x75x1.6 SHS	75x75x2.5 SHS	125x75x2.0 RHS	75x50x2.0 SHS	75x1.2 STUD
1520 TO 1820	75x75x2.0 SHS	125x75x2.0 RHS	125x75x3.0 RHS	75x50x2.5 SHS	75x1.2 STUD
1820 TO 2120	75x75x2.5 SHS	125x75x3.0 RHS	125x75x4.0 RHS	75x50x2.5 SHS	75x50x1.6 RHS
2120 TO 2420	125x75x2.0 RHS	125x75x3.0 RHS	125x75x5.0 RHS	75x50x3.0 SHS	75x50x1.6 RHS
2420 TO 2720	125x75x3.0 RHS	125x75x4.0 RHS	125x75x6.0 RHS	75x50x3.0 SHS	75x50x1.6 RHS
2720 TO 3020	125x75x5.0 RHS	125x75x6.0 RHS	125x75x6.0 RHS	75x50x4.0 SHS	75x50x2.0 RHS



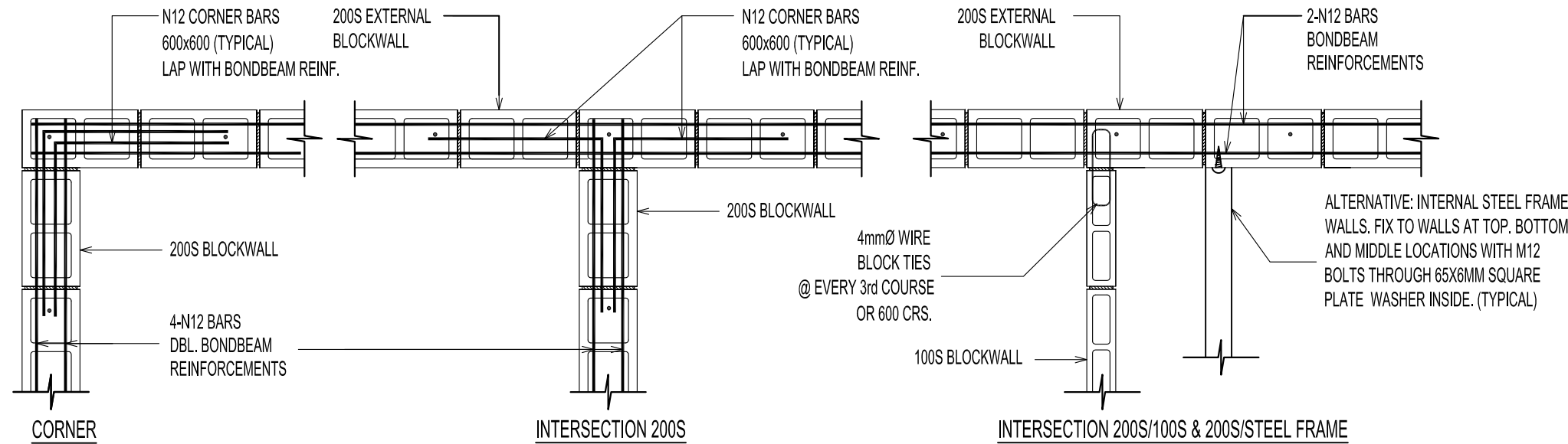
**TYPICAL ELEVATION, EXTERNAL WALL**



- STUD TO TOP AND BOTTOM PLATE :  
 EXTERNAL WALL - 75 MM  
 INTERNAL WALL - 60 MM  
 NOGGING - 50 MM  
 LINTELS FULLY WELDED  
 SILL  
 STUD SECTIONS - 60 MM  
 RHS SECTIONS - FULLY WELDED  
 JAMBS  
 75x50 RHS 90 MM,  
 75x75 SHS: 140 MM  
 BRACING 70MM

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
CLIENT	PARTHA MODAK	DATE DRAWN	22/12/2015
SHEET CONTENTS	STANDARD WALL FRAMING DETAILS	REV. NO.	DWG. NO. G212-A07



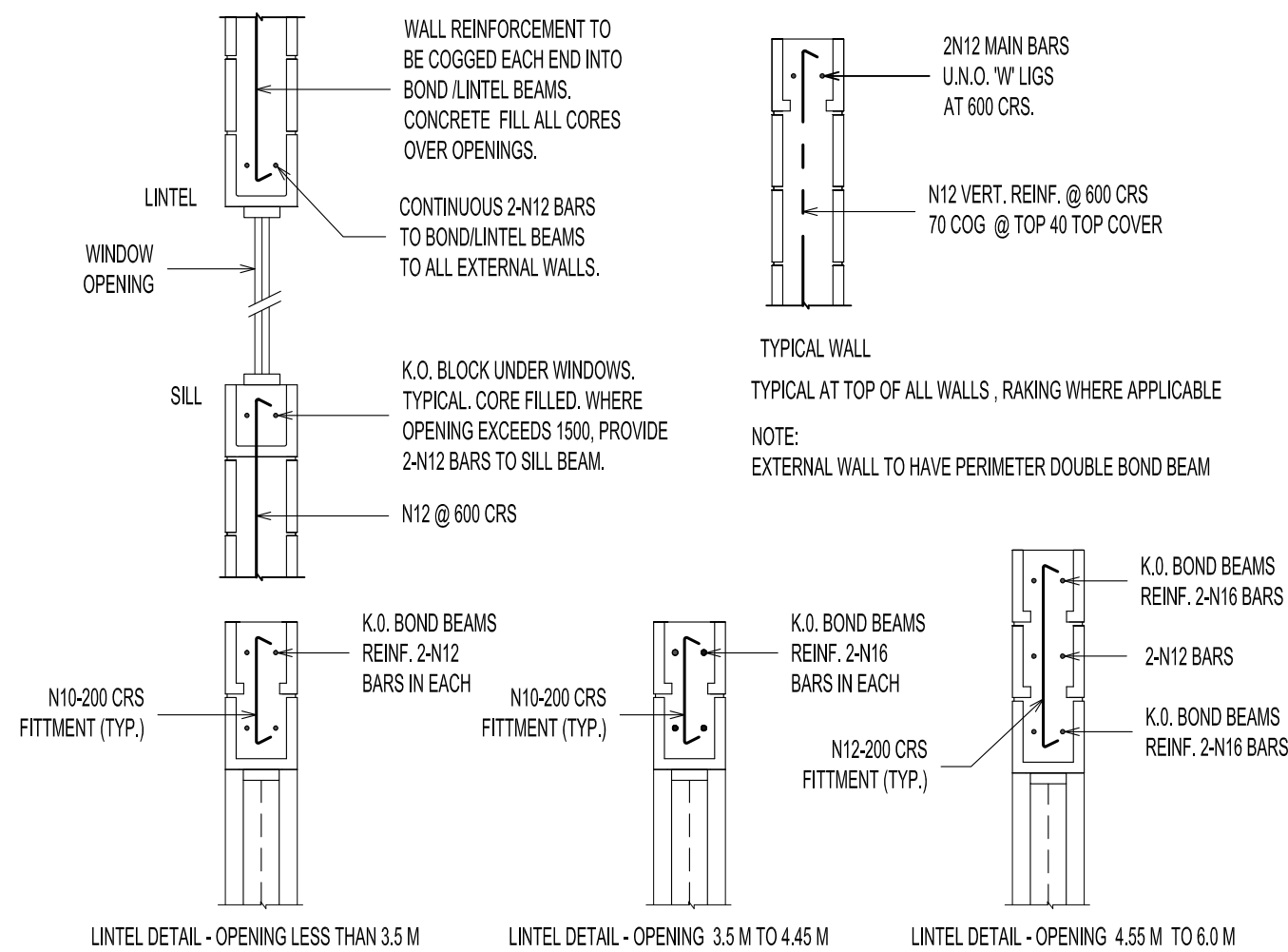


**GENERAL NOTES:**

- 200 SERIES BLOCKWORK UNO, 12 MPa BLOCKS, 20 MPa CORE FILL UNO
- VERTICALLY REINFORCED CORES ARE TO BE PROVIDED AS FOLLOWS UNO -  
 - N16-600 MAX CTS GENERALLY, COG INTO TOP OF WALL, 50 TOP COVER. CONC FILL REINFORCED CORES ONLY.  
 - N16 AT CORNERS, INTERSECTIONS, ENDS OF WALLS AND ADJACENT OPENINGS
- PROVIDE STARTER BARS CAST INTO FOOTINGS OF EQUAL SIZE TO CORE REINFORCEMENT.
- PROVIDE CONTINUOUS DOUBLE BOND BEAM WITH 2-N12 PER COURSE TO TOP OF ALL WALLS, RAKING WHERE APPLICABLE. BOND BEAMS DISCONTINUOUS ONLY AT MASONRY CONTROL JOINTS.
- PROVIDE KNOCKOUT LINTEL WITH 2-N12 BARS TO FIRST COURSE OVER ALL PA DOOR OPENINGS, CONTINUE REINF 150 PAST FACE OF OPENING.
- WALLS TO BE FULLY CORE FILLED OVER KO LINTELS & UNDER KO SILLS.
- REINFORCED CORES TO BE THOROUGHLY CLEANED PRIOR TO POURING CONCRETE. PROVIDE TEMPORARY CLEANOUT HOLES AT BASE OF EACH MASONRY LIFT UNO.

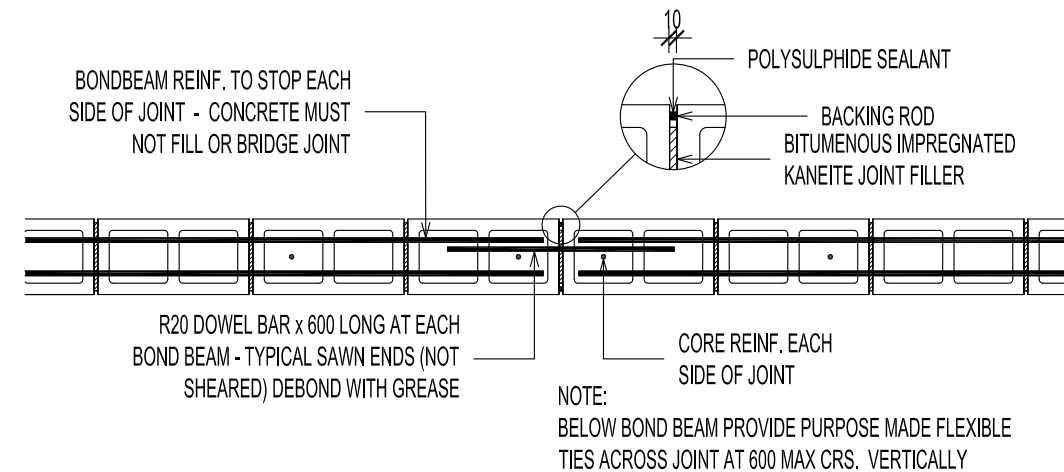
**1 TYPICAL BOND BEAM LAP AND WALL CONNECTIONS**

Scale: 1:20



**3 TYPICAL BLOCKWORK LINTEL DETAILS**

Scale: 1:20



**2 TYPICAL BLOCKWORK CONTROL JOINT DETAILS**

Scale: 1:20

PROJECT TITLE	PROPOSED CLINIC	REV. DATE	18/04/2016
SEC. 4201 (465) STUART HWY COOLALINGA		DRAWN BY	MP
		DATE DRAWN	22/12/2015
		REV. NO.	DWG. NO. G212-A08

CLIENT  
PARTHA MODAK

SHEET CONTENTS  
BLOCKWALL LINTEL DETAILS





**LETTER OF AUTHORIZATION**

**02 June 2016**

Development Consent Authority  
GPO Box 1680  
Darwin NT 0801

**APPLICATION for DEVELOPMENT PERMIT**


***Shops 6 & 7 Lot 4201 (465) Stuart Highway, Coolalinga***

***Hundred of Bagot***

***Proposed Medical Clinic***

This letter serves as authorisation for Maria Pajarillo to lodge an application to the Development Consent Authority on our behalf.

Kind regards,

  
A horizontal line is drawn across the page, with two handwritten signatures above it. The signature on the left is 'K. Staw' and the signature on the right is 'A. G. Br'.

**Owner/s**

**LETTER OF AUTHORIZATION**

**02 June 2016**

Development Consent Authority  
GPO Box 1680  
Darwin NT 0801

**APPLICATION for DEVELOPMENT PERMIT**

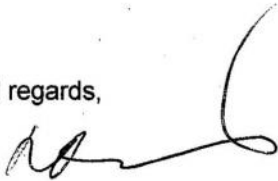
***Shops 6 & 7 Lot 4201 (465) Stuart Highway, Coolalinga***

***Hundred of Bagot***

***Proposed Medical Clinic***

This letter serves as authorisation for Maria Pajarillo to lodge an application to the Development Consent Authority on our behalf.

Kind regards,



***Partha S Modak***

***Trustee  
Prosanta Bharati Australia Pty Ltd***



27 June 2016

Mr Steven Kubasiewicz  
Development Assessment Services  
Department of Lands and Planning and the Environment  
GPO Box 1680  
Darwin NT 0801

Dear Steve

**PA2016/0373**  
**Section 4201 (465) Stuart Highway, Coolalinga, Hundred of Bagot**  
**Change of use from shop to medical clinic (tenancies 6 and 7)**

Thank you for the Development Application referred to this office on 17/06/2016, concerning the above. This letter may be tabled at Litchfield Council's next Council Meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

**Council supports the granting of a Development Permit for the following reasons:**

- a) The development is in line with the type of commercial development expected in the area.

**provided the following issues are adequately addressed:**

- a) Council believes that the appropriate amount of car parking should be provided for this new proposed development and the other uses on the site. The application does not provide an assessment of the car parking required for the site and any additional car parking required for this use. A review of previous applications for the site indicate that car parking previously required for the site may not yet be fully constructed.

The application requires 16 car parking spaces for the medical clinic and Council believes that medical clinics are typically associated with a high rate of utilisation of the required car parking.

Council requests that the consent authority require all required car parking to be shown on plans and appropriately constructed on site prior to operation of the use as a medical clinic.

- b) The plans currently provided with the application indicate several "roadways" within the property boundary. In actuality, these are "driveways" rather than Council "roadways" and Council requires that the plans be amended to indicate "driveways".

**Should the application be approved, the Council requests the following conditions be included as Condition Precedents in any Development Permit issued by the consent authority:**

- a) The crossover and driveway shall meet Litchfield Council's requirements, and the following changes to the proposed plans are required:
  - i. In order to avoid confusion with formal Council roadways, it is required that the notations on plans referencing "roadways" within the site boundaries be amended to refer to "driveways" to accurately reflect the nature of these access features.

**Should the application be approved, the following conditions pursuant to the Planning Act and Council's responsibility under the Local Government Act are also recommended for inclusion in any Development Permit issued by the consent authority:**

- a) The kerb crossovers and/or driveways to the site are to meet the technical standards of Litchfield Council. The owner shall remove disused crossovers; provide footpaths/cycleways, as required by Litchfield Council; collect stormwater and discharge it to the drainage network; and undertake reinstatement works; all to the technical requirements and satisfaction of the General Manager Infrastructure and Planning, Litchfield Council, and at no cost to Litchfield Council.
- b) No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and public street, to the satisfaction of the General Manager Infrastructure and Planning, Litchfield Council.
- c) Soil erosion control and dust control measures must be employed throughout the construction stage of the development to the satisfaction of the consent authority.
- d) Any developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure and Planning, Litchfield Council.

**Should the application be approved, the following notes are recommended for inclusion in any Development Permit issued by the consent authority:**

- a) Inspection fees and charges may apply in accordance with Litchfield Council's current Municipal Plan. Additional information can be found at [www.litchfield.gov.nt.au](http://www.litchfield.gov.nt.au).
- b) A *Works Permit* is required from Litchfield Council before commencement of any work within the road reserve, which would include creation of any driveway crossover connecting to Litchfield Council's street network.

If you require any further discussion in relation to this application, please do not hesitate to contact me on 08 8983 0600.

Yours faithfully



Peter Reeve  
Acting General Manager Infrastructure and Planning

*1985-2015 Celebrating 30 years of Local Government in Litchfield*

Tel (08) 8983 0600 • Fax (08) 8983 1165 • Email [council@litchfield.nt.gov.au](mailto:council@litchfield.nt.gov.au)  
7 Bees Creek Road, Freds Pass NT 0822 • PO Box 446 Humpty Doo NT 0836 • [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au)  
ABN: 45 018 934 501

Agenda Item Number:	13.3	Report Number:	16/0150
Report Title:	<b>PA2016/0405, a Development Application for subdivision and consolidation to create 1 lot at Section 368 (200) Strangways Road and Section 4255 (69) Spencely Road, Humpty Doo, Hundred of Strangways</b>		
Meeting Date:	20/07/2016	Record Number:	2KNW6MYD5VHJ-1174427650-1
Attachments:	Attachment A: Development Application PA2016/0405. Attachment B: Council's letter of comment for PA2016/0405, a Development Application for subdivision and consolidation to create 1 lot at Section 368 (200) Strangways Road and Section 4255 (69) Spencely Road, Humpty Doo, Hundred of Strangways.		

**Summary**

The purpose of this report is to provide a summary and assessment to Council of PA2016/0405, a Development Application for subdivision and consolidation to create 1 lot at Section 368 (200) Strangways Road and Section 4255 (69) Spencely Road, Humpty Doo, Hundred of Strangways, included as Attachment A.

The application is for a subdivision and consolidation, which requires a Development Permit.

The report also presents for Council endorsement the Letter of Comment on PA2016/0405 provided to the consent authority on 5 July 2016, included as Attachment B.

This report concludes that Council should support the application subject to receipt of plans illustrating suitable stormwater drainage practices for the site.

**Recommendations**

THAT Council:

1. endorse Attachment B, Council's Letter of Comment for PA2016/0405, a Development Application for subdivision and consolidation to create 1 lot at Section 368 (200) Strangways Road and Section 4255 (69) Spencely Road, Humpty Doo, Hundred of Strangways, the assessment of which is summarised above and reviewed in detail within the body of this report.

**Background**

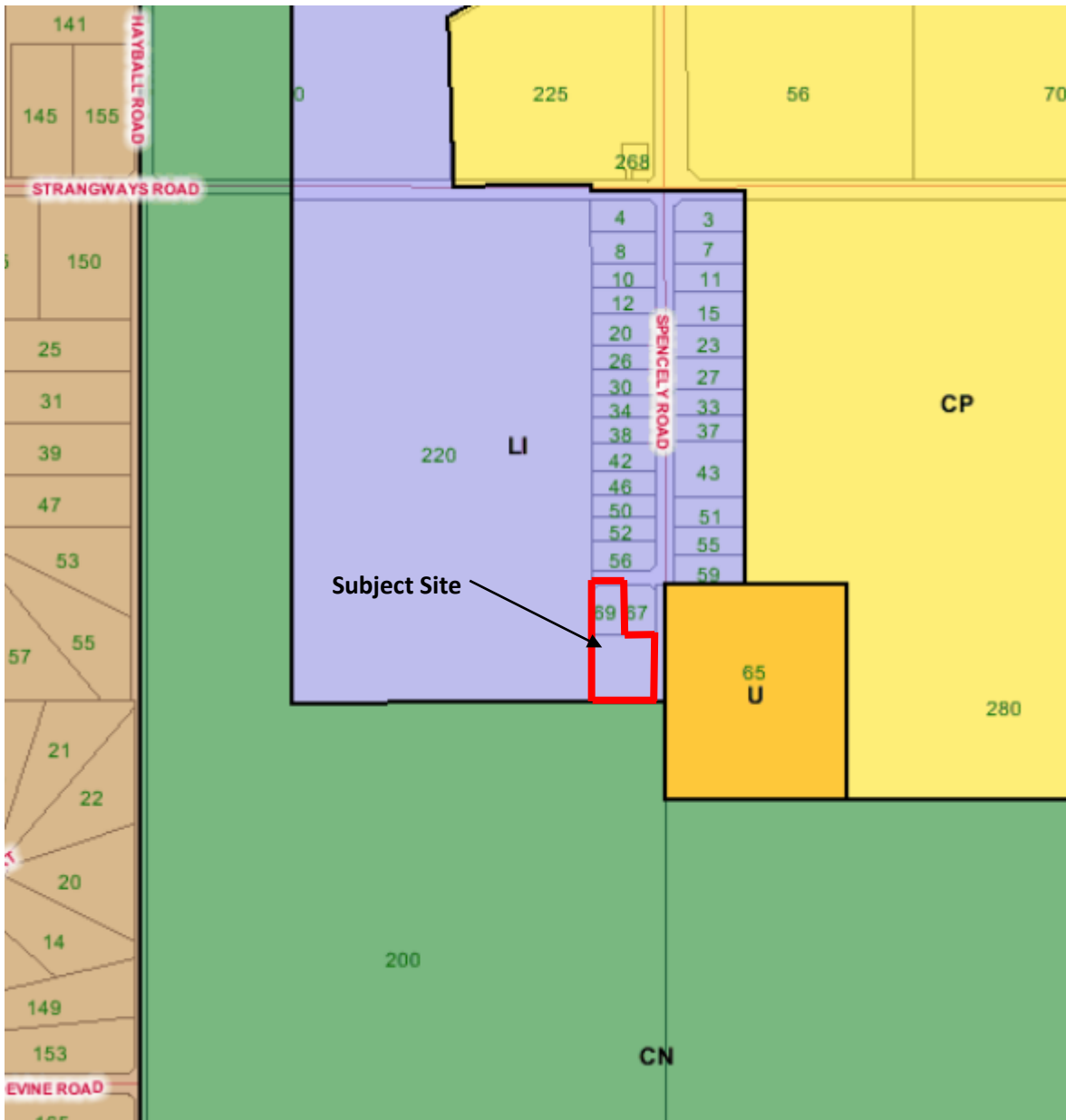
Site and Surrounds

The subject site is comprised of two adjacent parcels – 200 Strangways Road and 69 Spencely Road, Humpty Doo. The application falls only over the small portion of 200 Strangways Road that borders 69 Spencely Road.

Both sites are located in Zone LI (Light Industrial). The site at 69 Spencely Road is currently developed with light industrial uses. Part of the proposed portion of 200 Strangways Road to be

consolidated is currently developed with light industrial uses, including vehicle storage, associated with the business on 69 Spencely Road.

The sites to the north and west of the subject sites are also located in Zone LI (Light Industrial) and are developed, or are currently being developed with, light industrial uses. The area to the east is located in Zone U (Utilities) and contains sewer ponds. The area to the south is part of 200 Strangways Road, is located in Zone CN (Conservation), and is undeveloped.



Source: NT Atlas and Spatial Directory

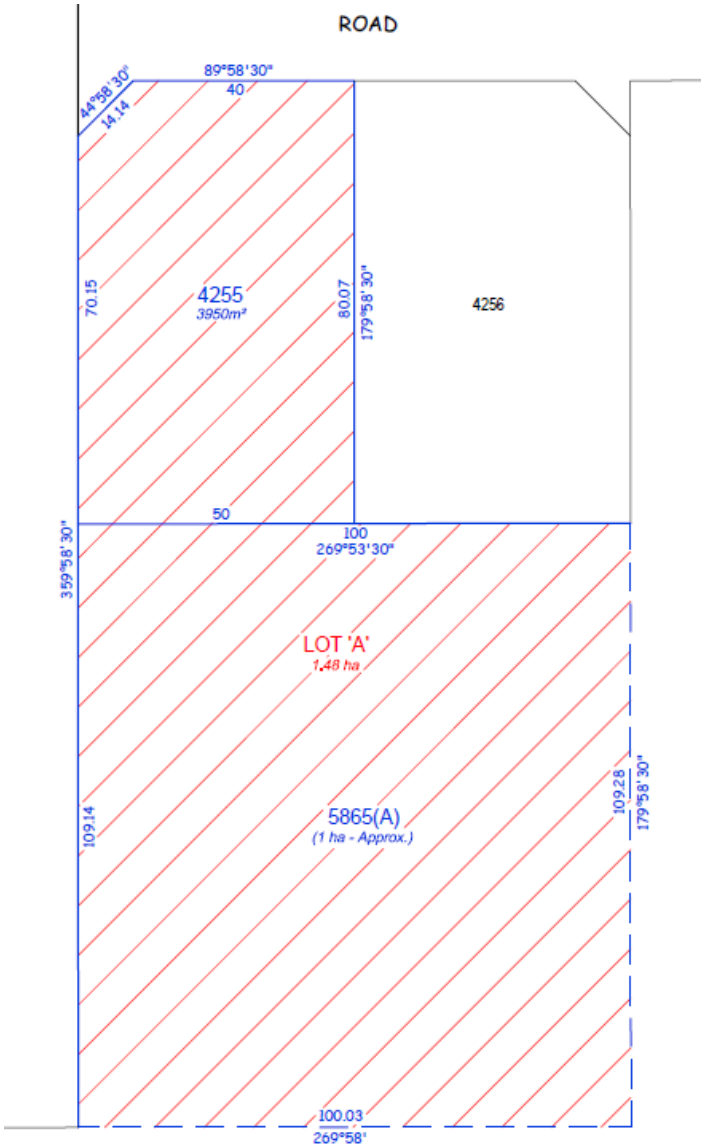
Site Development History

Section 368 (200) Strangways Road is currently located partly in Zone CN (Conservation) and partly in Zone LI (Light Industrial). The portion of the lot in Zone (LI) Light Industrial has been

progressively subdivided over the years to create smaller parcels to facilitate the development of the Humpty Doo Industrial Park.

Current Proposal

The current application proposes to subdivide off a portion of 200 Strangways Road that is in Zone LI (Light Industrial) and consolidate it with the adjacent Light Industrial parcel at 69 Spencely Road. Currently, 69 Spencely Road is 3,950m<sup>2</sup> in area. The part of 200 Strangways Road to be subdivided and consolidated is approximately 1ha in area. The total area of the consolidated site will be approximately 1.48ha.



Source: PA2016/0405

Application Assessment

The application proposes only changes to formal lot boundaries and no physical changes are proposed on site. The proposed new lot meets the minimum lot size requirements and has legal access to a public road.



However, Councils' requirements for stormwater drainage in light industrial areas is for the site drainage to connect underground with Councils' stormwater drainage system. Given the proposed primary street frontage for the subject lot is now proposed to be off of a new road, the applicant will need to prove that appropriate stormwater drainage practices can be put into place with the consolidation of the sites. As such, it is recommended that Council require a stormwater drainage plan as a Condition Precedent for any Development Permit issued.

Conclusion

It is recommended that Council support the application subject to receipt of plans illustrating suitable stormwater drainage practices for the site.

Links with Strategic Plan

1. Effective Leadership and Governance

Legislative and Policy Implications

Nil.

Risks

Nil.

Financial Implications

Nil.

Recommending Officer: Peter Reeve, Acting General Manager Infrastructure and Planning

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting or a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*



**SECTIONS: 4255 & 5865 (ADMIN. – OVER SEC 368 – VCL)  
TOWN/HUNDRED: STRANGWAYS  
ADDRESS: LOT 4255 SPENCELY ROAD, HUMPTY DOO**

**PURPOSE OF APPLICATION**

The purpose of this application is to increase the area of the owner's industrial working/storage area. There will be no new/different activities on the land that aren't already in existence.

**COMPLIANCE WITH PLANNING SCHEME**

The zoning for the subdivision is Light Industry L1.

11.3.1 – There is no excessive slope on the subject land. There are also no significant natural and cultural features. The Development is not affected by a 1% AEP flood or storm surge event.

The site shows no visible excessive slope and retains natural features of the land.  
Class 1 soil drainage – rapidly, well and moderately well drained soils.  
Safe access to the Proposed Lot will be from Spencely Road from existing Section 4255.

11.3.2 – No new connection to existing road networks will be added via this consolidation. The current road reserve does not need to increase for this subdivision. There will be no new reticulated services require, including sewerage. No easements are required.

11.3.3 – The proposed final lot size is consistent with other industrial lots in the area. The configuration is different due to being placed behind another lot, with no new access to road corridor. There is sufficient space for expansion of industrial activity, being the purpose of this application.

**OTHER ITEMS**

- **Compliance with Interim Development Control Order.**

There is no interim development control order over the subject area.

- **Environmental Impact Statement.**

No environmental impact statement has been prepared in relation to the area covered by this development proposal.

- **Merits of Proposal**

This proposal is for the expansion of an existing business (Sec 4255) for additional land, Portion of Section 368 (as shown on attached plan 5865(A) for the purpose of material storage and car parking.

- **Physical Characteristics**

The site is at the southern end of Spencely Road adjacent to the south of Sections 4255 and 4256 .

- **Public Open Space**

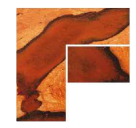
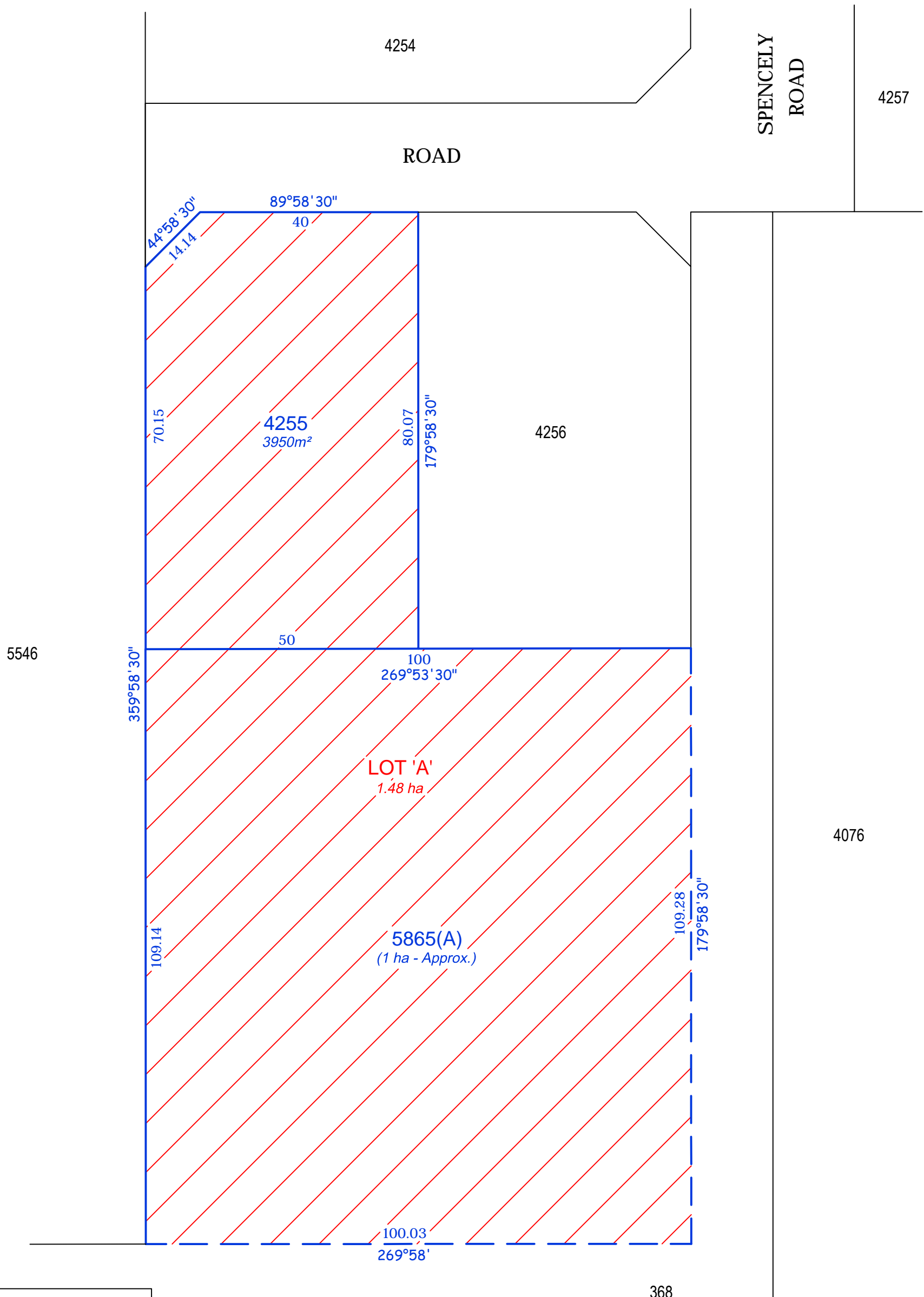
There is no open space provided for in this development.

- **Impact on Amenity**

The amenity of the area will not be affected by this development.

- **Public Interest**

Public interest would benefit from the development, as the provision of more available rural residential land (through separate Titles) in the area would provide an increase in the population to stimulate the local rural area.

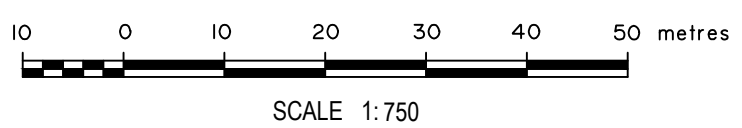


UNIT 7, 14 WINNELLIE RD.  
WINNELLIE  
GPO BOX 37869  
WINNELLIE NT 0820  
PHONE (08) 8944 7888  
FAX (08) 8944 7820  
EMAIL fyfent@fyfe.com.au



Section 4255: CUFT 656 658 (S38/300)  
Section 5865: ADMINISTRATIVE (over Section 368) - VCL  
Dimensions are subject to survey.

CLIENT :	A.B.T.
LEVEL DATPUM :	N/A
CO-ORD DATPUM :	LOCAL
SURVEYOR :	
DRAFTSMAN :	B.Z.S.
CHECKED :	B.Z.S.



PROPOSED SUBDIVISION <b>SECTIONS 4255 &amp;          &amp; 5865 (ADMIN. - over SECTION 368 - VCL)</b> HUNDRED OF STRANGWAYS	
PLAN No:	71614 / 01
REV.	0

ORIGINAL SIZE A3  
FILE PATH: X:\700007160071614 A.B.T. - SECTION 5865 HD STRANGWAYS\FINAL DRAFTING PLANS\71614\_01 (SUBDIVISION PROPOSAL).DWG

PO Box 2223  
Palmerston NT 0831  
Mobile: 0418 89 2157  
Fax: 08 8983 1285

.....  
**Building One Pty Ltd**

16-5-16

**FYFE Earth Partners**  
PO Box 37869  
Winnellie NT 0821

**Dear Mr Warick**  
**RE: SUBDIVION TITLE – LOT 4255 SPENCELY ROAD HUMPTY DOO NT 0836**

I confirm the proposed subdivision will not affect the compliance of the structures on Lot 4255 Spencely Road Humpty Doo with the Building Act or Building Code of Australia

Should you have any questions in relation to the above please do not hesitate to contact me on 0418 892 157.

Regards,



**Ian Izod**  
**Building One Pty Ltd**  
**18993BU**

.....

F41

**Land Administration**  
Level 5, Energy House  
18 - 20 Cavenagh Street  
DARWIN NT 0801  
**Postal address** GPO Box 1680  
Darwin NT 0801  
**Tel** 8999 7019  
**Fax** 08 8999 5404  
**Email** melissa.chudleigh@nt.gov.au

**Our Ref:** DDG2014/0003

Development Assessment Services  
GPO Box 1680  
DARWIN NT 0801

Dear Sir/Madam

**RE: AUTHORITY TO LODGE DEVELOPMENT APPLICATION OVER  
PROPOSED SECTION 5865, HUNDRED OF STRANGWAYS**

I advise that, as the owner of the above land, the Northern Territory consents to Mr Alan Birch and Ms Alison Taylor lodging a development application over proposed Section 5865, Hundred of Strangways in accordance with the requirement of the *Planning Act*.

In providing this consent, the Department of Lands, Planning and the Environment, on behalf of the Territory, in no way endorses the contents of the application per se, but provides authorisation for the application to be lodged and considered by the relevant consent authority.

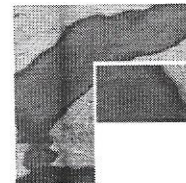
Should you have any queries regarding this matter, please contact Ms Nicole Churchett, Project Officer, Land Administration on telephone (08) 8999 7754 or via e-mail on [nicole.churchett@nt.gov.au](mailto:nicole.churchett@nt.gov.au).

Yours sincerely



MELISSA CHUDLEIGH  
Director Land Administration

31 August 2015



**FYFE**  
 Earth Partners  
 ENVIRONMENT  
 DEVELOPMENT  
 RESOURCES

Unit /14 Winnellie Road

Winnellie NT 0820  
 GPO Box 37869  
 Darwin NT 0821  
 Telephone (08) 8944  
 7888  
 Facsimile (08) 8944  
 7820

[www.fyfe.com.au](http://www.fyfe.com.au)

FYFE PTY LTD  
 ABN 37 002 116 120

31/12/2015

**Our Reference: 71614**

**RE: AUTHORISATION TO LODGE DEVELOPMENT APPLICATION**

I, ALAN JAMES BIRCH

.....  
*[Handwritten Signature]*

.....  
 4-1-16

Signature

Date

AND

I, ALISON TAYLOR

.....  
*[Handwritten Signature]*

.....  
 4-1-16

Signature

Date

Confirm that as the owners of the following property I / We authorise FYFE Pty Ltd,  
 to act on our behalf in lodging a Development Application:

Section: 4255

Hundred of: STRANGWAYS

Address: 69 SPENCELY ROAD, HUMPTY DOO

5 July 2016

**LITCHFIELD  
COUNCIL**



*Community effort is essential*

Mr Steven Kubasiewicz  
Development Assessment Services  
Department of Lands and Planning and the Environment  
GPO Box 1680  
Darwin NT 0801

Dear Steve

**PA2016/0405**  
**Section 368 (200) Strangways Road and Section 4255 (69) Spencely Road, Humpty Doo,**  
**Hundred of Strangways**  
**Subdivision and consolidation to create 1 lot**

Thank you for the Development Application referred to this office on 01/07/2016, concerning the above. This letter may be tabled at Litchfield Council's next Council Meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

**Council supports the granting of a Development Permit for the following reasons:**

- a) The proposal will not create a material change to development on the ground.

**provided the following issues are adequately addressed:**

- a) Council requires all light industrial developments to connect stormwater drainage underground into Council's drainage system. As substantial permitted industrial development could occur on the consolidated site without additional development permits being required, subdivision and consolidation is the appropriate time to address stormwater drainage for this site. Given that, Council has provided a required condition precedent below in relation to stormwater drainage.

**Should the application be approved, the Council requests the following conditions be included as Condition Precedents in any Development Permit issued by the consent authority:**

- a) Litchfield Council requests that prior to the endorsement of plans and prior to the commencement of works, a schematic plan demonstrating the on-site collection of stormwater and its discharge into Litchfield Council's stormwater drainage system shall be submitted to and approved by Litchfield Council. The plan shall include details of site levels and Council's stormwater drainage connection point(s).
  - i. The plan shall demonstrate how all stormwater is to be collected on the site and discharged underground to Litchfield Council's stormwater drainage system.

- ii. It is necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.
- iii. The plan shall demonstrate that the drainage system is designed to cater for both initial storm events (Q5) and major storm events (Q100).
- iv. The applicant's plans shall demonstrate that no contaminated water shall enter any waterway or Litchfield Council's drainage system.

**Should the application be approved, the following conditions pursuant to the Planning Act and Council's responsibility under the Local Government Act are also recommended for inclusion in any Development Permit issued by the consent authority:**

- a) Engineering design and specifications for the proposed and affected roads, including street lighting, stormwater drainage, vehicular access, pedestrian/cycle corridors, street-scaping and landscaping of nature strips, shall be to the approval of the General Manager Infrastructure and Planning, Litchfield Council, with all approved works constructed at the developer's expense, to the requirements of Litchfield Council.

**Note:** Design drawings should be approved by Litchfield Council prior to construction of the works.

- b) All existing or proposed easements or reserves required for the purposes of stormwater drainage, roads, access or for any other purpose, shall be made available free of cost to, and in favour of, Litchfield Council and/or neighbouring property owners.

**Should the application be approved, the following notes are recommended for inclusion in any Development Permit issued by the consent authority:**

- a) Inspection fees and charges may apply in accordance with Litchfield Council's current Municipal Plan. Additional information can be found at [www.litchfield.gov.nt.au](http://www.litchfield.gov.nt.au).
- b) A *Works Permit* is required from Litchfield Council before commencement of any work within the road reserve, which would include creation of any driveway crossover connecting to Litchfield Council's street network.

If you require any further discussion in relation to this application, please do not hesitate to contact me on 08 8983 0632.

Yours faithfully



Kaylene Conrick  
CEO



Agenda Item Number:	13.4	Report Number:	16/0151
Report Title:	Berry Springs Water Allocation Plan 2016-2026		
Meeting Date:	20/07/2016	Record Number:	LITCHFIELD-1174427650-288930
Attachments:			

## Summary

The Berry Springs Water Allocation Plan 2016-2026, included as Attachment A, was advertised for public comment in June 2016. The Plan provides guidance for the long-term sustainable management of water in the Berry Springs region. Council provided comments on the plan dated 1 July 2016.

This report also presents to Council for information the letter of comments provided to Water Resources Division of Department of Land Resources Management on the Plan, included as Attachment B.

## Recommendations

1. THAT Council receive for information the comments provided on the Berry Springs Water Allocation Plan dated 1 July 2016, included as Attachment B.

## Background

### Draft Plan

The Berry Springs Water Allocation Plan 2016-2026 was developed to plan for the long-term sustainability of water resources in the Berry Springs Region. The plan covers a 105km<sup>2</sup> of area within the Darwin Rural Water Control District, which covers the Berry Springs Dolostone Aquifer System.

The objectives of the plan are to:

- *Maintain sustainable water supplies for consumptive and environmental uses*
- *Improve management of the aquifer*
- *Protect the environment*
- *Support Aboriginal culture and communities*
- *Ensure regional economic development is sustainable.*

The Plan provides detailed background information on water allocation planning policy and processes and assesses a hydrogeological model of the water resource and the current use of that resource.

The Plan then provides a Management Framework for the water resource. The management framework presents objectives and strategies for managing water use and allocation. Permits for water extraction and licencing are requirements and opportunities are reviewed.

The third section of the Plan focusses on review, monitoring, and implementation of the Plan. The Plan must be “reviewed at intervals not longer than five years”. Detailed monitoring actions and appropriate performance targets for each are presented.

### Plan Assessment

The provision of detailed background information is a strong element of the Plan, as is the proposed management framework with its clear delineation of plan objectives, strategies to achieve the objectives and definitive performance indicators.

Many of the recommendations within the Plan can be supported, including permits for water extraction and limits on new bores and developments to prevent draining/damaging of the aquifer. The ability for water trading is supported, and it is recommended that stronger polices be developed to assist in enforcement of appropriate procedures. Additionally, it is recommended that the Plan could benefit from stronger plans for promoting education around water resources and use in the area and that Council could assist in that venture.

The mandate to review the Plan is a strong step in ensuring the Plan is monitored and appropriately implemented.

There are concerns over the lack of current Council representation on the Berry Springs Water Advisory Committee. It is acknowledged that the committee was established in 2011 and that a different Council was in place at that time. However, it is a missed opportunity for to develop current local knowledge and ownership of the Plan to not have updated the Litchfield Council members of the committee with current Council representatives.

### Summary

Council can support the overall Plan, with appreciation for the detailed background data and robust management framework and monitoring processes. Council can offer recommendations for stronger enforcement policies, additional educational measures, and community consultation that is inclusive of current Litchfield Council representation.

### Links with Strategic Plan

1. Everything you need
2. A great place to live
3. A beautiful natural environment

### Legislative and Policy Implications

Nil.

### Risks

Nil.

## Financial Implications

Nil.

Recommending Officer: Peter Reeve, Acting General Manager Infrastructure and Planning

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting of a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*

Agenda Item Number:	13.5	Report Number:	16/015
Report Title:	<b>PA2016/0277, a Planning Scheme Amendment Application to rezone from Zone RL (Rural Living) to Zone RR (Rural Residential) at Lot 11 and Lot 15 (176A and 176B) Bees Creek Road, Bees Creek, Hundred of Strangways</b>		
Meeting Date:	20/07/2016	Record Number:	2KNW6MYD5VHJ-1174427650-1
Attachments:	Attachment A: Planning Scheme Amendment Application PA2016/0277. Attachment B: Council's letter of comment for PA2016/0277, a Planning Scheme Amendment Application to rezone from Zone RL (Rural Living) to Zone RR (Rural Residential) at Lot 11 and Lot 15 (176A and 176B) Bees Creek Road, Bees Creek, Hundred of Strangways.		

## Summary

The purpose of this report is to provide a summary and assessment to Council of PA2016/0277, a Planning Scheme Amendment Application to rezone from Zone RL (Rural Living) to Zone RR (Rural Residential) at Lot 11 and Lot 15 (176A and 176B) Bees Creek Road, Bees Creek, Hundred of Strangways, included as Attachment A.

The proposal is for a rezoning, which requires an amendment to the NT Planning Scheme.

The report also presents for Council endorsement the Letter of Comment on PA2016/0277 provided to the consent authority on 11 July 2016, included as Attachment B.

This report concludes that Council should support the application, which will facilitate the future subdivision of the site into smaller lots. For this application, the ability to provide smaller lots is considered suitable for the following reasons:

- the proposal is consistent with the Darwin Regional Land Use Plan
- the proposal is consistent Council's support for the planning of rural activity centres within the Litchfield Subregional Land Use Plan
- best practice planning theory supports development of smaller lots near activity centres
- the site is located approximately 550m from a range of community facilities and additional community facilities are expected to be developed near the site in the future
- the site includes an easement that acts as a buffer to the western boundary and recommends a buffer to the eastern boundary, which should be supported by Council at future subdivision stage
- the land characteristics can support further development of the site
- any future subdivided lots will be required to be connected to reticulated water
- there is not expected to be any significant impact to the surrounding road network as a result of the rezoning proposal.

## Recommendations

THAT Council:

1. endorse Attachment B, Council's Letter of Comment for PA2016/0277, a Planning Scheme Amendment Application to rezone from Zone RL (Rural Living) to Zone RR (Rural Residential) at Lot 11 and Lot 15 (176A and 176B) Bees Creek Road, Bees Creek, Hundred of Strangways, the assessment of which is summarised above and reviewed in detail within the body of this report.

## Background

### Site and Surrounds

The subject site is 176A and 176B Bees Creek Road, Bees Creek. The two adjacent sites are 10 hectares and 9.5 hectares, respectively.

The sites are located in Zone RL (Rural Living) and are surrounded on all sides by parcels in Zone RL (Rural Living), while part of the northern boundary also borders land in Zone SC (Service Commercial).



Source: NT Atlas and Spatial Directory

The subject sites are currently each developed with a single dwelling. Surrounding sites are either developed with single dwellings or undeveloped. In particular, the site to the north is Crown land and is currently undeveloped. Sites approximately 550m to the north are developed with Bees Creek Primary School and Sattler Christian College, which is across Bees Creek Road from Litchfield Council offices. The Freds Pass Sport and Recreation Reserve is also just to the north of these community facilities.

### Site Development History

There is no past planning history for the subject sites.

### Current Proposal

The current application proposes to rezone the two sites from Zone RL (Rural Living) to Zone RR (Rural Residential). The intent of the rezoning is to facilitate future subdivision and development of the two sites.

The sites currently gain access from Bees Creek Road, with 176A Bees Creek Road having a 20m access driveway as part of the parcel and 176B Bees Creek Road having a right-of-way access of a portion of 176A Bees Creek Road to access this northern lot.

Lots in Zone RL (Rural Living) have a minimum lot size of 2ha with a minimum of 1ha of land being unconstrained. Currently, lots in Zone RR (Rural Residential) have a minimum lot size of 1ha in Litchfield.

#### **Subject Site**

The application includes a land suitability assessment indicating that practically the entire site contains land highly suitable for development.

### Application Assessment

Under the Darwin Regional Land Use Plan 2015, the subject sites are indicated as being within the activity centre designated for Coolalinga/Freds Pass. It is expected that sites within the activity centre would be subject to more intensive development and that smaller lots could be developed within activity centres.

Under the Litchfield Planning Concepts and Land Use Objectives 2002 (LPCLUO), the area of the subject sites is encouraged to be developed as 2 hectare lots. While the LPCLUO indicates that smaller lots could be developed in areas zoned for higher density uses, it does not specifically support rezoning of sites to develop these uses, but it points to areas within the municipality that are already zoned for higher density uses to be developed as such.

A recent Planning Scheme Amendment Application was publicly exhibited and reviewed by Council that proposed to replace the LPCLUO with the Litchfield Subregional Land Use Plan 2016 (LSLUP). The LSLUP proposes the subject sites be included in an area of Rural Residential Transition, where lots could be rezoned to Zone RR (Rural Residential) and be subdivided into parcels of minimum 4,000m<sup>2</sup>. These lots must be located in close proximity to community facilities and be connected to reticulated water. The LSLUP also indicates that all of the Crown land immediately to the north of the subject sites be developed with further community uses. Should the Planning Scheme Amendment for the LSLUP adoption and associated changes to the NT Planning Scheme not be approved, the minimum lot size in Zone

RR would remain at 1ha. While Council did not support the overall adoption of the LSLUP in its current format, Council's review of and formal comments on the document did generally support the portion of the document related to planning for the rural activity centres.

Given the above, the planning framework appears to provide a mixed view of the intended future lot sizes for these sites. It is, however, clear, that the latest planning strategies (2015 and 2016 versus 2002) are promoting inclusion of the subject sites as part of the Coolalinga/Freds Pass rural activity centre. As part of the activity centre, policy guidance indicates that these lots can be considered suitable for smaller lots sizes, provided that the land is suitable for development. The application provides a detailed land suitability assessment that addresses the soils, drainage, slopes, presence of weeds and protected flora and fauna, and provision of appropriate infrastructure for servicing. The land suitability assessment indicates that the site is highly suitable for the types of development proposed, noting that all sites will have reticulated water though some sites may require alternative waste water treatment systems, which is not uncommon in the rural area.

The subject sites have a 30m powerline and pipeline easement along the entire western boundary, which will serve to separate any future development on these sites from adjacent sites off Holly Road.

The application has also indicated the intent to provide a buffer zone to the existing lots off Bees Creek Road whose rear boundary borders the eastern site boundary. While there is no provision to require this buffer as part of the rezoning application, Council would take that commitment into account in any review of any future subdivision application for the site. With the exception of one site along the eastern boundary that has a shed along the rear boundary, development on all of the other bordering sites currently sits a minimum of 50m away from the subject site's eastern boundary.

Should the lots be rezoned and then subdivided into smaller parcels in the future, Council can provide adequate access to the new subdivision through the 20m access driveway to 176A Bees Creek Road. It is likely that any future subdivision will also be required to connect to Holly Road, to provide alternative routes and an interconnected road network. However, Council's assessment of the existing and expected future surrounding uses indicates that the overwhelming majority of traffic will utilise the Bees Creek Road access point, rather than Holly Road, and that future subdivision of the subject sites is not expected to draw additional traffic down Holly Road.

Considering adopted planning strategies and latest planning theory, the location of the site in relation to existing and planned future community facilities, the existing and proposed buffers from existing development, the land suitability of the subject site, the provision of access for any future subdivision of the subject site and the effect of expected traffic generated from such subdivisions on neighbouring uses, it is considered that Council can support the rezoning of the subject site, which would allow lot sizes to a minimum of 1ha at this time and lot sizes to a minimum of 4,000m<sup>2</sup> should the LSLUP amendment be approved.

### Conclusion

It is recommended that Council support the application, which will facilitate the future subdivision of the site into smaller lots. For this application, the ability to provide smaller lots is considered suitable for the following reasons:

- the proposal is consistent with the Darwin Regional Land Use Plan
- the proposal is consistent Council's support for the planning of rural activity centres within the Litchfield Subregional Land Use Plan
- best practice planning theory supports development of smaller lots near activity centres
- the site is located approximately 550m from a range of community facilities and additional community facilities are expected to be developed near the site in the future
- the site includes an easement that acts as a buffer to the western boundary and recommends a buffer to the eastern boundary, which should be supported by Council at future subdivision stage
- the land characteristics can support further development of the site
- any future subdivided lots will be required to be connected to reticulated water
- there is not expected to be any significant impact to the surrounding road network as a result of the rezoning proposal.

#### Links with Strategic Plan

1. A great place to live

#### Legislative and Policy Implications

Nil.

#### Risks

Nil.

#### Financial Implications

Nil.

Recommending Officer: Peter Reeve, Acting General Manager Infrastructure and Planning

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting or a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*



## NORTHERN TERRITORY OF AUSTRALIA

### PROPOSAL TO AMEND NT PLANNING SCHEME PA2016/0277

MasterPlan NT requested the Minister for Lands and Planning to amend the NT Planning Scheme by rezoning Lots 11 and 15 (LTO 72003), Hundred of Strangways from Zone RL (Rural Living) to Zone RR (Rural Residential). The Minister has considered the request and decided to continue consideration of the proposed amendment by placing it on exhibition.

Attached are:

- the Notice of Exhibition under section 17 of the *Planning Act*;
- extracts from the NT Planning Scheme relating to Zone RL (Rural Living) and Zone RR (Rural Residential);
- maps detailing existing and proposed zoning; and
- a copy of the application from MasterPlan NT.

The exhibition period is from Friday 17 June 2016 to Friday 15 July 2016.

Written submissions about the proposed planning scheme amendment are to be received by 11.59pm on Friday 15 July 2016 and made to:

Director, Lands Planning  
Department of Lands, Planning and the Environment  
GPO Box 1680  
DARWIN NT 0801; or

Email: [planning.dlpe@nt.gov.au](mailto:planning.dlpe@nt.gov.au)

Fax: (08) 8999 7189 or

Hand delivered to Level 2, Energy House, 18-20 Cavenagh Street, Darwin.

For more information please contact Lands Planning on telephone (08) 8999 8963.

**NORTHERN TERRITORY OF AUSTRALIA**

***Planning Act***

**NOTICE OF EXHIBITION OF PROPOSAL  
TO AMEND NT PLANNING SCHEME  
PA2016/0277**

I, DAVID WILLIAM TOLLNER Minister for Lands and Planning give notice under section 17 of the *Planning Act* of the following:

- (a) a proposal to amend the NT Planning Scheme, as described in (e), is to be exhibited;
- (b) the proposed amendment is to be exhibited at the office of the Department of Lands, Planning and the Environment, Level 2, Energy House, 18 Cavenagh Street, Darwin;
- (c) the period of exhibition is for 28 days, commencing upon first newspaper publication of the notice required by section 17(1);
- (d) written submissions regarding this exhibition should be made to:

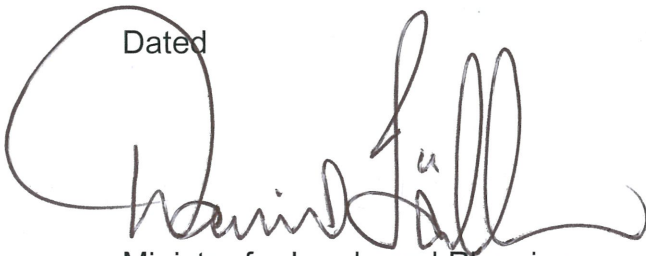
A/Director, Lands Planning  
Department of Lands, Planning and the Environment  
GPO Box 1680  
DARWIN NT 0801 or

Fax: (08) 8999 7189 or

Email: [planning.dlpe@nt.gov.au](mailto:planning.dlpe@nt.gov.au)

- (e) the proposed amendment is to the NT Planning Scheme, to rezone Lots 11 and 15 (LTO 72003), Hundred of Strangways from Zone RL (Rural Living) to Zone RR (Rural Residential).

Dated



Minister for Lands and Planning

9/6/2016

## 5.19 ZONE RL – RURAL LIVING

1. The primary purpose of Zone RL is to provide for low-density rural living and a range of rural land uses including **agriculture** and **horticulture**.
2. If lots are unsewered, provision for the disposal of effluent must be made on-site so that the effluent does not pollute ground or surface waters.

Clause 6.8 refers to **Demountable Structures**.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.9 controls the use and development of land within the ANEF 20 unit value contour adjacent to airports.

Clause 6.11 refers to Garages and Sheds.

Clause 6.14 refers to land subject to flooding and storm surge.

Clause 7.10.2 refers to **caravans**.

Clause 10.2 refers to the **clearing of native vegetation**.

Clause 11.1.1 refers to subdivision lot sizes and clause 11.4 to subdivision standards.

Clause 13.5 refers to the erection of mobile telephone communications towers.

Areas potentially of environmental significance within the Shire of Litchfield are identified on the map "Priority Environmental Management Areas – Litchfield Shire" produced by the former Department of Infrastructure, Planning and Environment, see clause 2.8.

ZONING TABLE – ZONE RL

<b>abattoir</b>	<b>X</b>	
<b>agriculture</b>	<b>D</b>	6.1, 10.1, 10.2
<b>animal boarding</b>	<b>D</b>	6.1, 6.5.1, 10.1, 10.2
<b>business sign</b>	<b>P</b>	6.7
<b>caravan park</b>	<b>X</b>	
<b>caretaker's residence</b>	<b>X</b>	
<b>car park</b>	<b>X</b>	
<b>child care centre</b>	<b>D</b>	6.1, 6.5.1, 8.1.5, 10.2
<b>community centre</b>	<b>D</b>	6.1, 6.5.1, 10.2
<b>domestic livestock</b>	<b>P</b>	6.1, 10.1, 10.2
<b>education establishment</b>	<b>X</b>	
<b>fuel depot</b>	<b>X</b>	
<b>general industry</b>	<b>X</b>	
<b>group home</b>	<b>P</b>	7.1, 7.3, 7.10.5
<b>home based child care centre</b>	<b>P</b>	6.5.1, 7.10.6
<b>home based contracting</b>	<b>P</b>	7.10.8, 10.2
<b>home based visitor accommodation</b>	<b>S</b>	7.10.1
<b>home occupation</b>	<b>P</b>	7.10.7
<b>horticulture</b>	<b>D</b>	10.2
<b>hospital</b>	<b>X</b>	
<b>hostel</b>	<b>X</b>	
<b>hotel</b>	<b>X</b>	
<b>independent unit</b>	<b>P</b>	6.5.1, 7.1, 7.3, 7.5, 7.10.4
<b>intensive animal husbandry</b>	<b>D</b>	6.1, 10.1, 10.2
<b>leisure and recreation</b>	<b>X</b>	
<b>licensed club</b>	<b>X</b>	
<b>light industry</b>	<b>X</b>	
<b>medical clinic</b>	<b>X</b>	
<b>medical consulting rooms</b>	<b>P</b>	6.5.1, 7.10.9
<b>motel</b>	<b>X</b>	
<b>motor body works</b>	<b>X</b>	
<b>motor repair station</b>	<b>X</b>	
<b>multiple dwellings</b>	<b>X</b>	
<b>office</b>	<b>X</b>	
<b>passenger terminal</b>	<b>X</b>	
<b>place of worship</b>	<b>X</b>	
<b>plant nursery</b>	<b>D</b>	6.1, 6.5.1, 10.2
<b>promotion sign</b>	<b>X</b>	
<b>recycling depot</b>	<b>X</b>	
<b>restaurant</b>	<b>X</b>	
<b>retail agricultural stall</b>	<b>P</b>	6.1, 10.2
<b>rural industry</b>	<b>D</b>	6.1, 6.5.1, 10.2, 10.6
<b>service station</b>	<b>X</b>	
<b>shop</b>	<b>X</b>	
<b>showroom sales</b>	<b>X</b>	
<b>single dwelling</b>	<b>P</b>	6.5.1, 7.1, 7.3
<b>stables</b>	<b>D</b>	6.1, 6.5.1, 10.1, 10.2
<b>supporting accommodation</b>	<b>D</b>	6.5.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8, 10.2
<b>transport terminal</b>	<b>X</b>	
<b>vehicle sales and hire</b>	<b>X</b>	
<b>veterinary clinic</b>	<b>D</b>	6.1, 6.5.1, 10.2
<b>warehouse</b>	<b>X</b>	

**P** = Permitted      **S** = Self Assessable      **D** = Discretionary      **x** = Prohibited

## 5.18 ZONE RR – RURAL RESIDENTIAL

1. The primary purpose of Zone RR is to provide for rural residential use.
2. Proposals for rural residential development are expected to demonstrate the relationship of the proposal to existing and proposed future land uses identifying potential impacts on facilities and services and the **amenity** of the locality.
3. If lots are unsewered, provision for the disposal of effluent must be made on-site so that the effluent does not pollute ground or surface waters.

Clause 6.8 refers to **Demountable Structures**.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.9 controls the use and development of land within the ANEF 20 unit value contour adjacent to airports.

Clause 6.11 refers to Garages and Sheds.

Clause 6.14 refers to land subject to flooding and storm surge.

Clause 7.10.2 refers to **caravans**.

Clause 10.2 refers to the **clearing of native vegetation**.

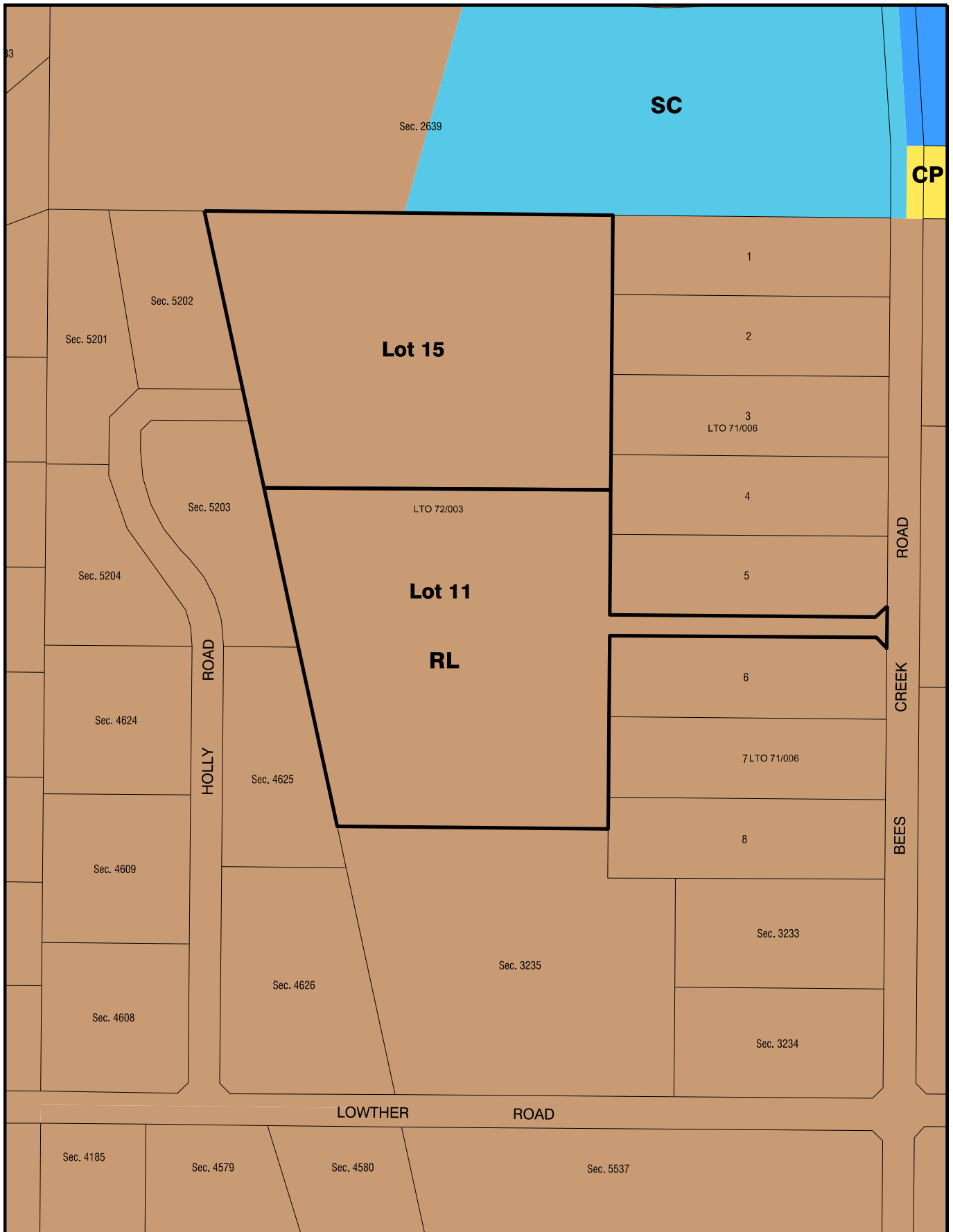
Clause 11.1.1 refers to subdivision lot sizes and clause 11.4 to subdivision standards.

Clause 13.5 refers to the erection of mobile telephone communications towers.

ZONING TABLE – ZONE RR

<b>abattoir</b>	x	
<b>agriculture</b>	x	
<b>animal boarding</b>	x	
<b>business sign</b>	<b>P</b>	6.7
<b>caravan park</b>	x	
<b>caretaker's residence</b>	x	
<b>car park</b>	x	
<b>child care centre</b>	x	
<b>community centre</b>	<b>D</b>	6.1, 6.5.1, 10.2
<b>domestic livestock</b>	<b>P</b>	6.1, 10.1, 10.2
<b>education establishment</b>	x	
<b>fuel depot</b>	x	
<b>general industry</b>	x	
<b>group home</b>	<b>P</b>	6.1, 7.3, 7.10.5
<b>home based child care centre</b>	<b>D</b>	6.5.1, 7.10.6
<b>home based contracting</b>	<b>P</b>	7.10.8, 10.2
<b>home based visitor accommodation</b>	<b>S</b>	7.10.1
<b>home occupation</b>	<b>P</b>	7.10.7
<b>horticulture</b>	x	
<b>hospital</b>	x	
<b>hostel</b>	x	
<b>hotel</b>	x	
<b>independent unit</b>	<b>P</b>	6.5.1, 7.1, 7.3, 7.5, 7.10.4
<b>intensive animal husbandry</b>	x	
<b>leisure and recreation</b>	x	
<b>licensed club</b>	x	
<b>light industry</b>	x	
<b>medical clinic</b>	x	
<b>medical consulting rooms</b>	<b>D</b>	6.5.1, 7.10.9
<b>motel</b>	x	
<b>motor body works</b>	x	
<b>motor repair station</b>	x	
<b>multiple dwellings</b>	x	
<b>office</b>	x	
<b>passenger terminal</b>	x	
<b>place of worship</b>	x	
<b>plant nursery</b>	<b>D</b>	6.1, 6.5.1, 10.2
<b>promotion sign</b>	x	
<b>recycling depot</b>	x	
<b>restaurant</b>	x	
<b>retail agricultural stall</b>	x	
<b>rural industry</b>	x	
<b>service station</b>	x	
<b>shop</b>	x	
<b>showroom sales</b>	x	
<b>single dwelling</b>	<b>P</b>	6.5.1, 7.1, 7.3, 7.5, 10.2
<b>stables</b>	x	
<b>supporting accommodation</b>	<b>D</b>	6.5.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8, 10.2
<b>transport terminal</b>	x	
<b>vehicle sales and hire</b>	x	
<b>veterinary clinic</b>	x	
<b>warehouse</b>	x	

**P** = Permitted      **S** = Self Assessable      **D** = Discretionary      x = Prohibited



EXISTING ZONING PLAN  
 NT PLANNING SCHEME  
 AMENDMENT PA2016/0277  
 Hundred of Strangways  
 From Zone RL (Rural Living)  
 to Zone RR (Rural Residential)



Northern  
 Territory  
 Government

Department of Lands, Planning and the Environment



Scale 1: 5000 @ A4



File No.: PA2016/0277

Date: 18-May-16

Drawing Name: PSA Lots 11 and 15 Strangways.dgn



PROPOSED NT PLANNING SCHEME  
 AMENDMENT PA2016/0277  
 Hundred of Strangways  
 From Zone RL (Rural Living)  
 to Zone RR (Rural Residential)



Northern  
 Territory  
 Government

Department of Lands, Planning and the Environment



Scale 1: 5000 @ A4



File No.: PA2016/0277

Date: 18-May-16

Drawing Name: PSA Lots 11 and 15 Strangways.dgn



**NORTHERN TERRITORY OF AUSTRALIA**  
**Planning Act**

**Proposal to amend a Planning Scheme- section 13(1)**

**1. LAND INFORMATION (FOR PROPOSED CHANGE IN ZONING ONLY)**

Town/Hundred/Locality: **HUNDREDS OF STRANGWAYS**  
 Parcel Number(s) and/or Unit number: **LOT 11 AND LOT 15**  
 LTO Plan:  
 Number and Street Name: **176A AND 176B BEES CREEK ROAD, BEES CREEK.**

**and**

Existing Zone: **RL**  
 Proposed Zone: **RR**  
 Tenure:

Is the proponent the land owner?: YES /  NO

**2. PROPONENT INFORMATION**


**PROONENT INFORMATION**  
 ILIS Customer no. (if known):  
 Company name (if applicable): **MASTERPLAN NT**  
 ABN or ACN (if applicable): **30 007 755 277**  
 Title: Mr Mrs Miss Ms Dr Other:  
 Family name(s): **TATCHELL**  
 Given name(s): **KERRI - ANNE**  
 Preferred name(s):  
 Postal address: **UNIT 33, 16 CHARLTON COURT,  
 WOOLNER NT 0820 .**

Telephone no. (business hours): **04 37 629 833**  
 Facsimile no.: **08 8221 6001**  
 E-mail address: **kerri-annet@masterplan.com.au**

**3. DESCRIPTION OF PROPOSED AMENDMENT**

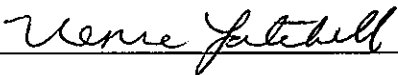
Attach A detailed statement describing the proposed amendment.	ATTACHMENT A
<b>and</b>	
Where the proposed amendment relates to a published document, the title of the document proposed to be amended:	

**4. REASON(S) FOR PROPOSAL**

Attach a detailed statement describing why the proposed amendment should be considered.	ATTACHMENT B 
---	--

**5. APPLICANT TO SIGN AND/OR AFFIX SEAL**

The application is complete and all required documentation is attached.

	8/4/16
Signature(s)	Date

**PRIVACY NOTE:**

The Department of Lands, Planning and the Environment, on behalf of the Minister, is authorised under the *Planning Act* to collect the information on this form, or otherwise provided by you, to consider a proposal to amend a Planning Scheme. Failure to provide the information in full may result in delays in processing of the application.

Some of the personal information provided by you on this application may be publicly available, as part of a public exhibition process. The information may also be provided to other NT Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation contained within the *Information Act 2002 (NT)*. For more information please refer to the Department of Lands, Planning and the Environment privacy statement located at [www.lands.nt.gov.au/](http://www.lands.nt.gov.au/)

Any personal information provided can be subsequently accessed by you on request.

If you have any queries please contact:

**Lands Planning**  
**Department of Lands, Planning and the Environment**  
GPO BOX 1680  
DARWIN NT 0801 or  
Phone: (08) 8999 5511  
Fax: (08) 8999 7189  
Email: [planning@nt.gov.au](mailto:planning@nt.gov.au)

**AUTHORISATION FOR MASTERPLAN NT TO ACT**

I/We, Daphne Gweneth Sellwood being the owner/registered proprietor of  
the subject land located at Lot 11 Hundred of Strangways (176A Bees Creek Road, Bees Creek)  
authorise MasterPlan NT to act on my/our behalf as the applicant/proponent in the matter as  
listed below:

Application to Rezone from Zone RL to Zone RR

Signed: Daphne J. Sellwood

Date: 11-4-16

SOUTH AUSTRALIA  
33 Carrington Street  
Adelaide, 5000  
P (08) 8221 6000  
masterplan.com.au

NORTHERN TERRITORY  
Unit 33, 16 Charlton Court  
Woolner, 0820  
P (08) 8942 2600  
ISO 9001:2008 Certified

ABN 30 007 755 277

**AUTHORISATION FOR MASTERPLAN NT TO ACT**

I/We, Cassandra Haddock and Desmond Groves being the owner/registered proprietor of  
the subject land located at Lot 15 Hundred of Strangways (176B Bees Creek Road, Bees Creek)  
authorise MasterPlan NT to act on my/our behalf as the applicant/proponent in the matter as  
listed below:

Application to Rezone from Zone RL to Zone RR

Signed: *Cassandra Haddock*

Date: 9/4/16

Signed: *Desmond Groves*

Date: 9/4/16

SOUTH AUSTRALIA  
33 Carrington Street  
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masterplan.com.au

NORTHERN TERRITORY  
Unit 33, 16 Charlton Court  
Woolner, 0820  
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ISO 9001:2008 Certified

ABN 30 007 755 277

# PLANNING REPORT

## Proposal to Amend the NT Planning Scheme

Lot 11 and Lot 15 Hundred of Strangways (176A and 176B Bees Creek Road, Bees Creek)



Prepared by

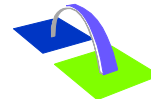
MasterPlan NT

ABN 30 007 755 277, ISO 9001:2008 Certified

Unit 33/16 Charlton Court, Woolner NT 0820

Telephone: 8942 2600, [masterplan.com.au](http://masterplan.com.au)

**April 2016**



## 1.0 INTRODUCTION

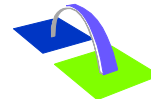
This report has been prepared on behalf of the land owners of Lot 11 and Lot 15 Hundred of Strangways (176A and 176B Bees Creek Road, Bees Creek). The proposal is to amend the Northern Territory Planning Scheme, pursuant to Section 13(1) of the *Northern Territory Planning Act* to rezone the land from Zone RL (Rural Living) to Zone RR (Rural Residential). The proposed amendment will facilitate the development of the land for rural residential uses.

In preparing this Planning Scheme Amendment Report, MasterPlan NT has examined the relevant documentation, inspected the subject land and locality, and considered the most relevant provisions of the *Northern Territory Planning Act*, Northern Territory Planning Scheme (the Scheme), the Darwin Regional Land Use Plan, the Litchfield Planning Concepts and Land Use Objectives and the draft Litchfield Subregional Area Plan.

Included in the application are the Planning Scheme Amendment Report (contained herein), Land Owner Authorisation, and Title Documents.

Included in the Planning Scheme Amendment Report are the following:

- Attachment A Location and Zoning Plan
- Attachment B Site Plan
- Attachment C Land Suitability Assessment by VPS Land Assessment and Planning
- Attachment D Proposed Zoning and Potential Development Plan



## 1.1 Locality Description

The Coolalinga and Freds Pass Rural Activity Centre is parallel to both sides of the Stuart Highway. The Activity Centre incorporates the shopping centre at Coolalinga which includes a supermarket, medical services, a bakery, fast food outlets, service stations and a variety of speciality shops. The Coolalinga Shopping Centre is approximately 3.5 kilometres driving distance from the site.

In the immediate Freds Pass area are considerable community purpose uses and recreational opportunities. This includes the Sattler Christian College and Bees Creek Primary School, Bees Creek Preschool, Goodstart Early Learning Centre and the Anglican Church of the Good Shepherd all located approximately 550 metres directly north of the site. Further north of the site is the Freds Pass Sport and Recreation Reserve which provides fields for numerous types of sports including rugby and athletics, polo cross, soccer, AFL, cricket, paintball and archery. East of the site is a Vietnam Veterans NT Rural Sub Branch, to the north-east of the site is the Litchfield Council office.

There are large undeveloped land holdings directly north and north-east of the site. These are currently within Zone SC (Service Commercial), Zone TC (Tourist Commercial), Zone FD (Future Development), Zone CP (Community Purpose) and Zone RL (Rural Living).

Strategic planning documents, including the Darwin Regional Land Use Plan 2015 (DRLUP), the Litchfield Planning Concepts and Land Use Objectives 2002 (LPCLUO) and the draft Litchfield Subregional Land Use Plan 2016 (LSLUP) identify this land for potential future development as part of the Activity Centre.

Residential land within the wider area is predominately Zone RL and 2.0 hectares in size. However, there are some allotments on Holly Road (immediately west of the site) that are less than 2.0 hectares. Lot 5202, 5201, and 5204 are 1.61, 1.69 and 1.7 hectares, respectively. On the eastern side of Bees Creek Road there are further parcels of Zone RL land well in excess of the 2.0 hectare minimum lot size for that zone. A Location and Zoning Plan is at **Attachment A**.

## 1.2 Site Description

The site comprises Lot 11 and Lot 15 Hundred of Strangways (176A and 176B Bees Creek Road, Bees Creek) which are both within Zone RL. Lot 11 and Lot 15 are approximately 10.12 hectares and 9.51 hectares respectively. Collectively creating a site of approximately 19.63 hectares.

There are existing dwellings on each lot which are connected to reticulated power and water services, with each dwelling utilising independent septic systems to dispose of effluent. There are no bores located on the property.

Lot 11 has access from Bees Creek Road along a 20 metre wide battle-axe access (refer **Figure 1**) which is also a right-of-way easement. This right-of-way easement extends along the eastern boundaries of Lot 11 and Lot 15. Lot 15 was created before Holly Road and initially relied on this right-of-way easement as



access, however as Holly Road is now constructed, access could be achieved from Holly Road (refer **Figure 2**).

There is a 30 metre wide utility easement on the western boundary of the site containing high-voltage powerlines and a reticulated water pipeline (1050 MSCL) (refer image at **Figure 3** and Site Plan at **Attachment B** or an excerpt at **Figure 4**). These are significant utilities which provide capacity for additional development.



**Figure 1: Battle-axe Access**





**Figure 2: View to Holly Road from Site**



**Figure 3: Utility Easement**



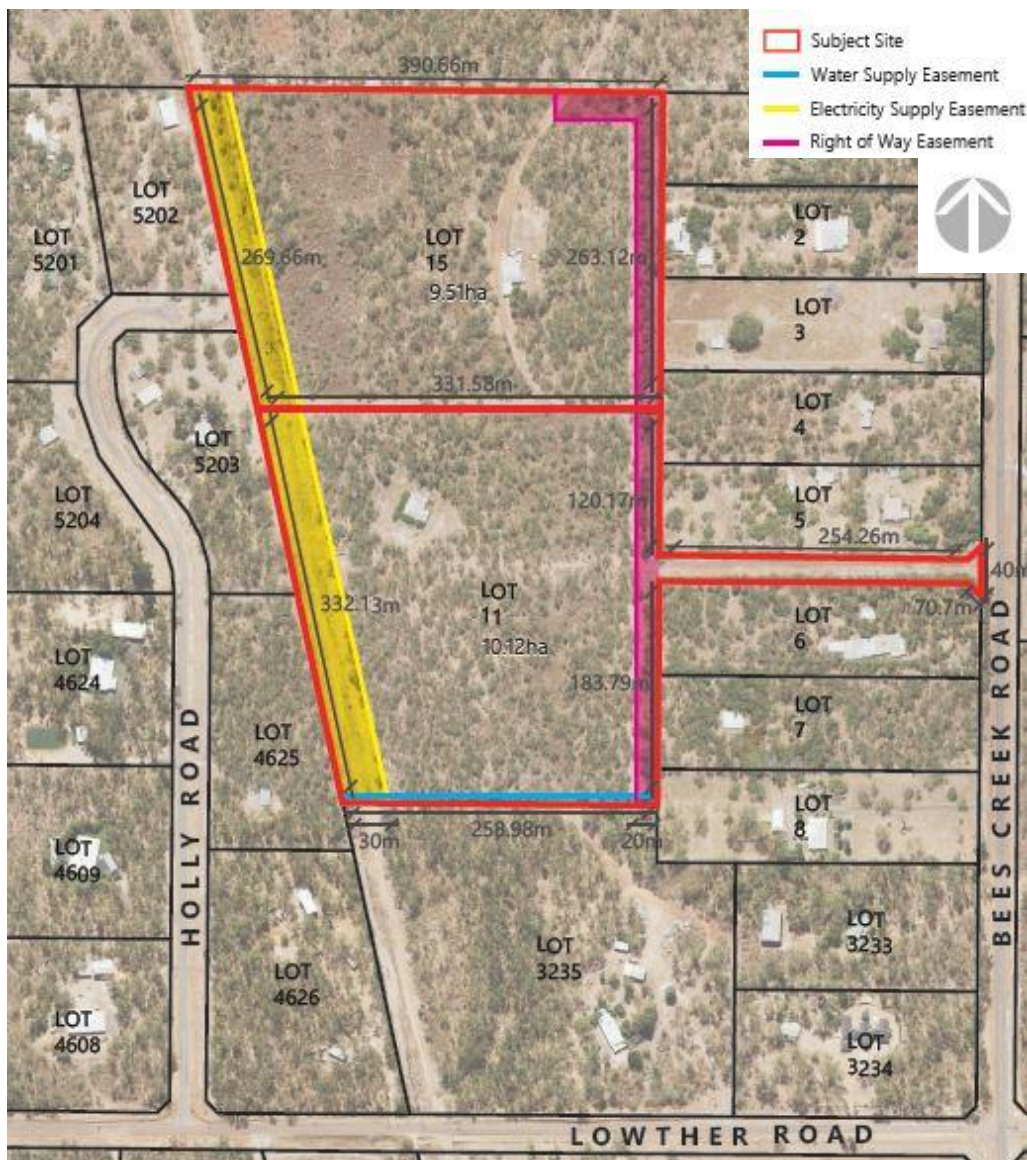
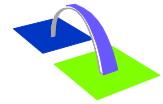
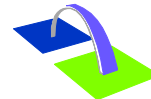


Figure 4: Site Plan

The site is well-vegetated and generally in its natural state other than two notable areas of soil disturbance which are likely associated with historical exploration for gravel extraction. Somewhat elevated and atop a minor ridge, the site has gentle slopes of up to approximately one to two percent. There are no defined waterways on the site.

A Land Suitability Assessment, prepared by VPS Land Assessment and Planning, is at **Attachment C** and addresses the seven categories of land suitability, as defined in the NT Land Suitability Guidelines. The assessment identifies that the soils consist of “*well-drained, moderately deep to deep, gravelly red and brown kandosols*” and concludes that the site is Highly Suitable (suitability class 1) for on-site effluent disposal systems. The assessment also identifies that there are a number of options available for effluent disposal systems in particular cases where soil characteristics may not be suitable for standard septic



systems. This includes *“increasing the size of the absorption/disposal area, using better quality imported fill or raised beds/mounds. Improving the quality of the effluent may also be considered by using Alternative Septic Treatment Systems (ASTS).”*

The assessment also discusses the other six categories of land suitability, being drainage, erosion risk, soil salinity, acid sulphate soils, storm tide flooding and riverine flooding and identifies all categories as being Highly Suitable (suitability class 1) apart from erosion risk which is Moderately to Highly Suitable (suitability class 1 – 2).

The assessment also includes information on the potential presence of threatened and endangered species on the site. However, no sightings of threatened species have been recorded on the site or on adjoining land. Conclusions from a field assessment, conducted by VPS Land Assessment and Planning identify

*“that the subject land could contain suitable habitat for the Brush-tailed Rabbit-rat (*Conilurus penicillatus*) and Black-footed Tree-rat (*Mesembriomys gouldii*). However, this is considered unlikely due to limited areas of suitable habitat; the undisturbed patches of woodland in the area are disconnected by small lot subdivision and/or major roads/easements and, though fires do not appear to be frequent, the presence of Gamba Grass (*Andropogon gayanus*) will further exacerbate the impact of burning.”*

Furthermore, as the application is for rezoning only, rather than physical development, there is no immediate change planned to the environmental characteristics of the site. Investigations at any detailed design stage for potential development in the future can, if necessary, provide additional assessment of the environmental values of the land.

## **2.0 DESCRIPTION OF PROPOSED AMENDMENT**

The proposed amendment to the NT Planning Scheme is to rezone Lot 11 and Lot 15 Hundred of Strangways (176A and 176B Bees Creek Road, Bees Creek) from Zone RL to Zone RR. The purpose of the rezoning is to facilitate the development of the land for rural residential uses, in accordance with the NT Planning Scheme.

A Proposed Zoning and Potential Development Plan is at **Attachment D** and an excerpt **Figure 5**.

A rezoning to Zone RR will provide for appropriate infill development on two largely undeveloped parcels of land. The benefit of this is that it allows for future subdivision to minimise impact on existing residences that surround the site through design. The proposal will facilitate the further subdivision of the land providing affordable alternatives to larger lots of 2.0 hectares and above.



Lots within Zone RR are required to be completely unconstrained, accordingly, the Land Suitability Assessment has identified that the site is completely unconstrained as per the categories of the NT Land Suitability Guidelines.

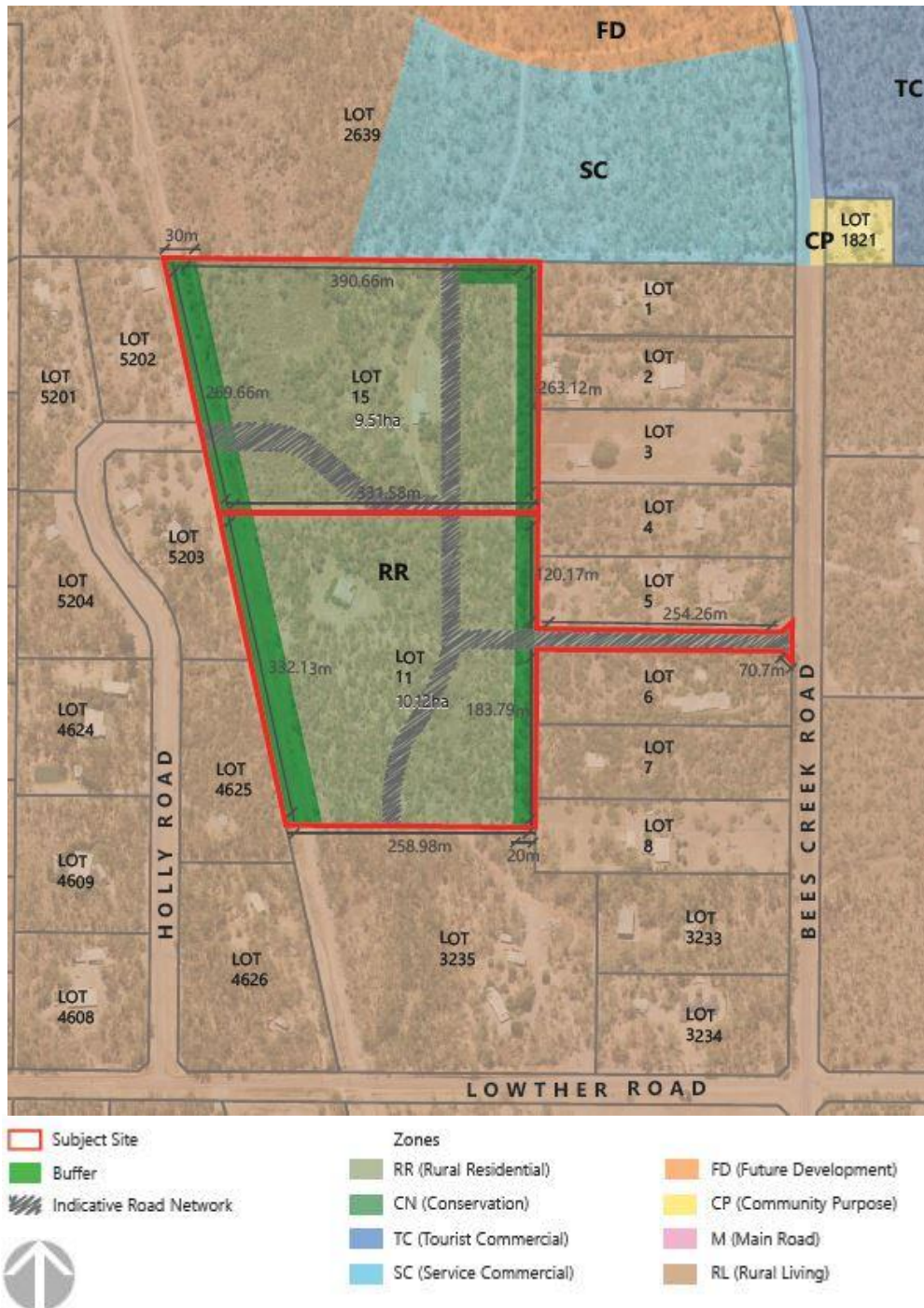


Figure 5: Proposed Zoning and Potential Development Plan





## **2.1 Services**

Any residential allotments created on the site in accordance with Zone RR would require reticulated power and water services. The existing dwellings on the site are currently connected to these services. The access to high-voltage electricity and reticulated water provide the opportunity for future lots to be connected to an appropriate level of service.

Reticulated sewerage is unavailable in the area and any future residential allotment would need to be able to accommodate an on-site effluent disposal system. The Land Suitability Assessment, prepared by VPS Land Assessment and Planning, concluded that the site is completely unconstrained and that the relevant categories of the NT Land Suitability Guidelines have been met with soils categorised as Highly Suitable and Moderately Suitable (refer Land Suitability Assessment). In specific regard to on-site effluent disposal, the assessment identified that soils are Highly Suitable.

As reticulated water services will be provided, no bores would be required to be drilled on the site. Furthermore, as there are no waterways or areas of land constrained by drainage, the separation of effluent disposal systems from water sources to prevent potential for ground contamination is not an issue.

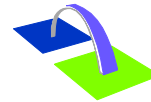
## **2.2 Access and Traffic**

Future subdivision of the site, in accordance with the proposed zone, will require the provision of sealed and constructed roads to the relevant standards. The future development of the site has the potential to improve the existing road network in the area by providing connections from Holly Road through to Bees Creek Road to the future development areas north of the site. Identified on the Proposed Zoning and Potential Development Plan, this indicative road network is broadly in accordance with the "proposed local roads" identified in the draft Litchfield Subregional Land Use Plan 2016 (LSLUP). Bees Creek Road is identified in both the DRLUP and the LSLUP as a "collector road" suggesting it is suitable to accommodate a marginal increase in traffic as a result of future development of the site.

The location of the site, being approximately 550 metres from the existing community facilities at Freds Pass, will promote residents to use active transport modes, particularly school children who will be able to walk to school. If the Crown land to the north is developed in future, in accordance with the LSLUP, the walkability of the site will be even further improved. The additional population mass located in the activity centre, will also improve the economic case to expand public transport services in the rural area.

## **2.3 Interface with Adjoining Zones**

The interface to adjoining zones has been carefully considered in the preparation of this application. The large undeveloped nature of the site provides opportunity for the future subdivision of the site to provide an appropriate design which limits the effects on existing residents.



Buffer zones to existing dwellings on both the east and west of the site can and will be implemented when the site is subdivided in the future. It is intended to retain as much vegetation on the site as possible when the site is subdivided and mechanisms to enforce this will be investigated at the subdivision stage.

It would be impractical and undesirable to include the existing utilities easement in individual allotments, if the site is further subdivided in future, the 30 metre wide easement would naturally act as a buffer to the existing Zone RL allotments on Holly Road. Further, a buffer would be created in the area which is the existing right-of-way easement to those properties on the eastern side of the site.

### **3.0 PLANNING CONTEXT**

#### **3.1 Northern Territory Planning Scheme**

The proposed amendment to the NT Planning Scheme will rezone Lot 11 and Lot 15 Hundred of Strangways (176A and 176B Bees Creek Road, Bees Creek) from Zone RL to Zone RR. The purpose of the rezoning is to facilitate the development of the land for rural residential uses, in accordance with the NT Planning Scheme. The following provides comparisons between the purpose statements Scheme controls of Zone RL and Zone RR.

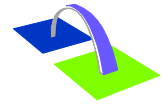
**Clause 5.19** provides the following purpose statement of Zone RL:

- "1. The primary purpose of Zone RL is to provide for low-density rural living and a range of rural land uses including agriculture and horticulture."*

**Clause 5.18** provides the following purpose statement of Zone RR:

- "1. The primary purpose of Zone RR is to provide for rural residential use.*
- 2. Proposals for rural residential development are expected to demonstrate the relationship of the proposal to existing and proposed future land uses identifying potential impacts on facilities and services and the amenity of the locality.*
- 3. If lots are unsewered, provision for the disposal of effluent must be made on-site so that the effluent does not pollute ground or surface waters.*

The proposed Planning Scheme Amendment will allow for an increase in housing density. Both zones provide for, and share similar, rural residential type uses. The notable difference being that there is a higher level of control of uses within Zone RR, being more restrictive to allow for the separation of incompatible uses on smaller lots.



A change to Zone RR would *prohibit* the following uses, currently possible within Zone RL:

- agriculture
- animal boarding
- child care centre
- horticulture
- intensive animal husbandry
- retail agricultural stall
- rural industry
- stables
- veterinary clinic

The only other changes are that a home based child care centre and medical consulting rooms are *permitted* within Zone RL and *discretionary* within Zone RR.

### **3.2 Darwin Regional Land Use Plan 2015**

The Darwin Regional Land Use Plan 2015 (DRLUP) discusses rural activity centres in the Litchfield municipality and states that *“the availability of some undeveloped land close to existing and planned centres creates opportunities to establish the viability of essential service infrastructure, the critical population mass required to support a concentration of activities and increased housing choice outside urban areas.”* The largely undeveloped site is located within a defined activity centre and future subdivision will be able to connect to the existing service infrastructure. The provision of smaller lot sizes as an alternative to larger lots in the rural area will assist in increasing housing choice and diversity and provide opportunities for *“older residents seeking retirement options and younger people seeking more affordable options and younger people seeking more affordable options to enter the housing market.”*

The DRLUP *“supports ongoing infill residential development, particularly on underutilised land close to existing transport networks and community or commercial facilities”*. The site is superbly located to a high level of community services including the Sattler Christian College and Bees Creek Primary School, Bees Creek Preschool, Goodstart Early Learning Centre and the Anglican Church of the Good Shepherd all located approximately 550 metres directly north of the site. Further north of the site is the Freds Pass Sport and Recreation Reserve which provides fields for numerous types of sports including rugby and athletics, polo cross, soccer, AFL, cricket, paintball and archery. East of the site is a Vietnam Veterans NT Rural Sub Branch, to the north-east of the site is the Litchfield Council office. Commercial services are located at the Coolalinga Shopping Centre approximately 3.5 kilometres driving distance from the site, including a supermarket, medical services, a bakery, fast food outlets, service stations and a variety of speciality shops.

The DRLUP discusses the environmental benefits of smaller lot development and states *“smaller appropriately serviced residential lots in rural activity centres could also increase the sustainability of larger rural lifestyle lots by reducing the impacts of future population growth on natural resources, particularly*



*groundwater...". Any subsequent subdivision of the site would need to be serviced with reticulated water thereby providing for additional housing options in the rural area without reliance on groundwater.*

As discussed above, there are several benefits to be gained by rezoning the site to provide for smaller allotments in accordance with Zone RR. The proposal will provide a transition of density from lots that are typically 2.0 hectares to the future development areas of Crown land north of the site. Future allotments created on the site are well positioned to maximise access to the existing community and recreational services immediately to the north, as well as to be integrated into the future development of the Crown land. Reticulated power and water services are available for connection to any future subdivision and the investigations contained within the report and attachments identify that soils are suitable for on-site effluent disposal systems. There are environmental benefits in providing for smaller housing options in serviced areas as there is no reliance on groundwater.

### **3.3 Litchfield Planning Concepts and Land Use Objectives 2002**

The site is within Locality 13 'Litchfield Central' of the Litchfield Planning Concepts and Land Use Objectives 2002 (LPCLUO). The LPCLUO is soon to be superseded, however, some consideration is awarded to this policy document.

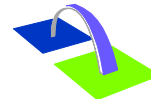
The intent of Locality 13 is for the *"continued development predominantly of 2 ha lots to accommodate a range of land uses..."*. However, the LPCLUO continues on to state that *"subdivision into lots of less than 2 ha will be prevented within this locality except within ... areas specifically rezoned to provide for small lot rural residential development."* The area is proposed to be rezoned to provide for subdivision of less than 2.0 hectares.

Section 3.1 'Residential' also identifies the option of accommodating population growth in rural residential lots (less than 2.0 hectares). The LPCLUO notes that *"while smaller lots within existing subdivided areas may be detrimental to human health and the amenity of those areas, smaller lot subdivision in previously unsubdivided areas where appropriate services can be provided would satisfy the apparent demand for smaller lots."* The proposal is for the rezoning of a relatively undeveloped area of approximately 19.63 hectares, allowing for a well-designed subdivision that considers the existing lots surrounding the site. Furthermore, the site can be appropriately serviced with reticulated power and water.

The LPCLUO continues to identify the importance of providing *"interconnecting local roads in progressive subdivisions"* which further subdivision of the site will facilitate, improving broader transport networks and improving connectivity.

While the LPCLUO, adopted in 2002, do not reflect recent government and private initiated development within the Coolalinga and Freds Pass area, the proposal is still able to demonstrate a level of consistency with the policy. The proposal achieves the broad policy objectives the LPCLUO of accommodating growth





without impacting existing lots, providing appropriate levels of services, and improving the connectivity of the existing road network.

### 3.4 Litchfield Subregional Land Use Plan 2016

The draft Litchfield Subregional Land Use Plan 2016 (LSLUP) will supersede the existing Litchfield Planning Concepts and Land Use Objectives 2002 (LPCLUO). The LSLUP has already been through two rounds of public consultation and is expected to be formally exhibited as a Planning Scheme Amendment shortly. The following assessment is based on the draft LSLUP.

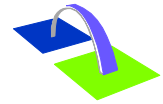
The LSLUP identifies the site as being within the Coolalinga and Freds Pass Rural Activity Centre and having the *“future opportunity for rural residential development”* and acknowledges the potential of this area generally to take *“advantage of access to town water and proximity to the community facilities”*. The LSLUP also identifies ‘proposed local roads’ in the activity centre which rely on further subdivision and development to occur. The rezoning of the land will facilitate the further subdivision of the site to a density compatible with Zone RR, providing reticulated power and water to each individual allotment and creating an interconnected road network in accordance with the ‘proposed local roads’ as identified on the LSLUP.

Further, the activity centre key statements of policy identified in the LSLUP align closely with the proposal and are discussed below:

**Policy A1** is to *“provide residential land within rural activity centres without detracting from the amenity of existing established rural lifestyle areas*

- *transition residential land uses from low density next to existing rural lifestyle lots to higher density adjacent to urban services;*
- *locate Zone RR (Rural Residential) lots, with a minimum area of 4000m<sup>2</sup>, as a buffer to rural lifestyle areas;*
- *provide a variety of residential lot sizes and housing types”*

The proposal will create a transition from Zone RL allotments, generally of 2.0 hectares however the immediate adjoining lots to the west are smaller, to allotments consistent with Zone RR. The proposal will provide these lots in an appropriate location being proximate to community and recreational opportunities and directly adjacent large areas of undeveloped Crown land identified for development in the future. Future subdivision of the site in accordance with Zone RR will increase the variety of residential lot sizes and housing types in the immediate area, providing opportunities for older residents to downsize, and younger residents to enter the housing market.



**Policy A2** is to *“provide social infrastructure within rural activity centres*

- *facilitate community facilities such as schools, community centres, health clinics and aged care facilities within activity centres to meet the needs of the community;*
- *facilitate multi-purpose community facilities and shared use of existing facilities within activity centres; and*
- *identify and retain land within activity centres for future social infrastructure needs.”*

Although the proposal will not in itself provide community facilities, it will facilitate the extension of the existing road network through subdivision to connect with land identified for future community purposes. Additional residents in the immediate area will assist in creating the critical population mass required (as stated in the DRLUP) to provide to support a concentration of activities, including community facilities.

**Policy A5** is to *“minimise detrimental impacts of development within rural activity centres on the receiving environment*

- *identify and evaluate environmental constraints, and comply with any relevant environmental management plans;*
- *require development proposals to demonstrate an urban design and engineering response to the environmental and physical constraints of the site;*
- *require drainage systems that respond to the natural drainage regimes and minimise modification or disturbance to the natural systems as far as is practical; and*
- *require the discharge of concentrated stormwater to not exceed pre-development flows or have detrimental impacts in the receiving environment.”*

The site is not identified as being within a ‘Priority Environmental Management Area’ and as such there is no overarching environmental management plan. The site has been assessed by VPS Land Assessment and Planning and was determined to be completely unconstrained including from steep slope and soil drainage. This will assist any future subdivision design response for the site to provide an appropriate drainage system that minimises modification and disturbance to natural systems, and limits discharge to pre-development flows.

Further to this, as the site will be connected to reticulated water services, there will be no additional reliance on groundwater. Accommodating population growth in appropriately serviced areas will allow the continuation of rural lifestyle allotments in the broader area.



**Policy A6** is to *“provide reticulated services to rural activity centres*

- *prepare infrastructure plans for the strategic and progressive delivery of trunk services to support urban development”*

Reticulated services are already available at the site and will be connected to lots resulting from any future subdivision.

**Policy A7** is to *“provide activity centres with interconnected local road networks*

- *require the design of subdivisions to provide for interconnected local roads;*
- *promote ‘active’ transport modes by identifying and requiring facilities such as cycle paths and associated infrastructure; and*
- *support the expansion of public transport services to and within activity centres.”*

Future subdivision of the site, in accordance with the proposed zone, will require the provision of sealed and constructed roads to the relevant standards. The future development of the site has the potential to improve the existing road network in the area by providing connections from Holly Road through to Bees Creek Road to the future development areas north of the site. Identified on the Proposed Zoning and Potential Development Plan, this indicative road network is broadly in accordance with the “proposed local roads” identified in the draft Litchfield Subregional Land Use Plan 2016 (LSLUP). Bees Creek Road is identified in both the DRLUP and the LSLUP as a “collector road” suggesting it is suitable to accommodate a marginal increase in traffic as a result of future development of the site.

The location of the site, being approximately 550 metres from the existing community facilities at Freds Pass, will encourage residents to use active transport modes, particularly school children who will be able to walk to school. If the Crown land to the north is developed in future, in accordance with the LSLUP, the walkability of the site will be even further improved. The additional population mass located in the activity centre, will also improve the economic case to expand public transport services in the rural area.

The above discussion has identified that the proposal closely aligns with the LSLUP, including the land use concept for the Coolalinga and Freds Pass Rural Activity Centre and the broader policy objectives of the LSLUP. This includes:

- accommodating growth while minimising effects on establish rural lifestyle allotments;
- providing connections with community infrastructure;
- promoting development of unconstrained land and negating the requirement for significant alterations to existing drainage flows;



- utilising reticulated services where available; and
- improving existing road networks and connectivity.

#### **4.0 CONCLUSION**

The proposed Scheme Amendment comprises the rezoning of the land from Zone RL (Rural Living) to Zone RR (Rural Residential). The following features of the Scheme Amendment support the proposal:

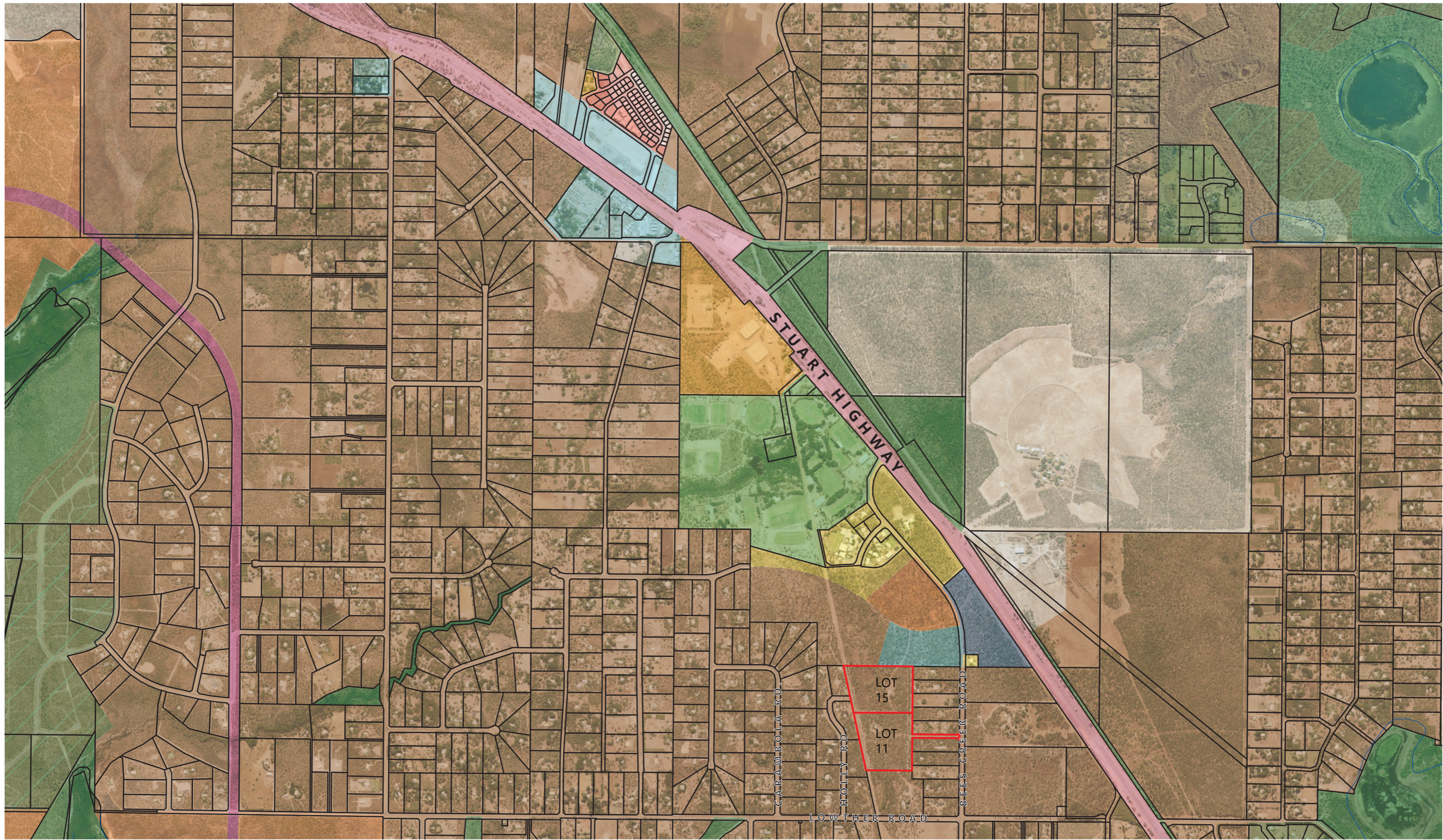
- the land is able to be serviced by reticulated power and water services and has been assessed by VPS Land Assessment and Planning to be entirely unconstrained and physically suitable for the rezoning and subdivision and the siting of on-site effluent disposal systems
- the further subdivision of the site, as a result of the rezoning, will improve the existing road network and connectivity
- the undeveloped nature of the site will allow for a subdivision design that considers the existing amenity of surrounding residential uses and will incorporate buffer zones
- the land is conveniently located in the south east of the Coolalinga and Freds Pass rural activity centre which provides a range of established commercial and community facilities and will provide for housing choice and diversity in an appropriate location
- has demonstrated consistency with the relevant policy documents and the long-term planning outcomes for the area

Overall, we respectfully submit that the proposed amendment is appropriate and warrants favourable consideration.

**Jack Priestley**

8 April 2016





- |                    |                    |                    |                      |                    |
|--------------------|--------------------|--------------------|----------------------|--------------------|
| Subject Site       | Rural Living       | Tourist Commercial | Organised Recreation | Multiple Dwelling  |
| Rural Residential  | Service Commercial | Community Purpose  | Single Dwelling      | Proposed Main Road |
| Conservation       | Commercial         | Commonwealth Land  | Main Road            |                    |
| Future Development | Utilities          | Development        |                      |                    |

## Location and Zoning Plan

Lot 11 and Lot 15 Hundred of Strangways  
176A and 176B Bees Creek Road, Bees Creek



1:20,000 @ A3  
0 400m

Information portrayed on this sheet  
has been obtained through multiple sources.

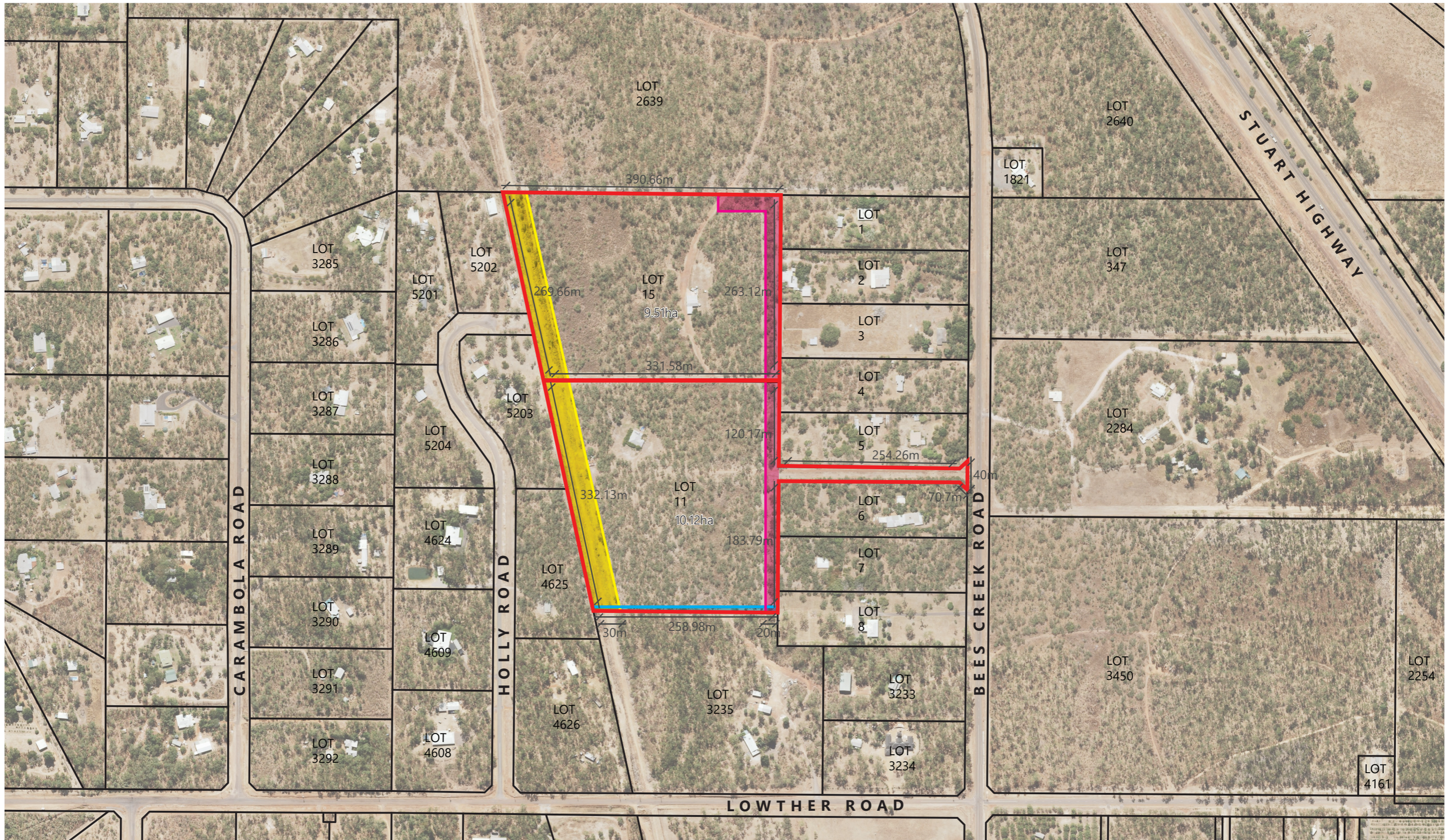
JP SH  
06 04 2016 1407\_1.0

33/16 Charlton Court  
Woolner NT 0820

P: (08) 8942 2600  
masterplan.com.au







- Subject Site
- Water Supply Easement
- Electricity Supply Easement
- Right of Way Easement

**Site Plan**

Lot 11 and Lot 15 Hundred of Strangways  
176A and 176B Bees Creek Road, Bees Creek





# Land Suitability Assessment: Lot 15 Hundred of Strangways (176b Bees Creek Road, Bees Creek)

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*Compiled by VPS Land Assessment and Planning*

*On behalf of*

*Des Groves*

*February 2016*

*VPS Land Assessment and Planning*

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Surface and subsurface drainage conditions are created by natural processes and the activity of people. Site assessment identifies actual subsurface conditions only at those points where samples are taken and when they are taken. This Report is based on assumptions that the site conditions as revealed through selective sampling are indicative of conditions throughout the site. Data derived from literature and external data source review are interpreted to provide an opinion about overall site conditions and their likely impact on the proposed development. Actual conditions may differ from those inferred to exist and the actual interface between materials may be far more gradual or abrupt than assumed based on the facts obtained.

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## ***Document Control Record***

Prepared by	Graeme Owen
Position	Consultant Environmental Scientist
Signed	
Date	15 February 2016

## **Revision Status**

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1	First Issue	15 February 2016	Graeme Owen
2	Minor edits requested by clients representative	13 April 2016	Graeme Owen

Recipients are responsible for eliminating all superseded documents in their possession



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**Acronyms**

Alternative Septic Treatment System	ASTS
Bureau of Meteorology	BOM
Building Advisory Services (DLPE)	BAS
Building Control Area	BCA
Department of Health	DoH
Department of Land Resource Management	DLRM
Department of Lands, Planning and the Environment	DLPE
Environmental Protection Agency	EPA
Land Capability Assessment	LCA
Land Suitability Assessment	LSA
NR Maps	Online data server managed by DLRM ( <a href="http://nrmaps.nt.gov.au">nrmaps.nt.gov.au</a> )
Power and Water Corporation	PWC
Water Resources	Water Resource Division within DLRM

## Executive Summary

VPS Land Assessment and Planning was commissioned to conduct a Land Suitability Assessment (LSA) of Lot 15 Hundred of Strangways (176b Bees Creek Road, Bees Creek) to assess the potential of the land for subdivision. The subject land is zoned RL – Rural Living. The focus of this work has been the field validation of the boundaries of constrained land and then to determine the extent and soil-landscape characteristics of the unconstrained land.

The environmental assessment of the subject land involved an initial desktop and subsequent field assessment undertaken in April 2016.

This land suitability assessment has found that Lot 15 has an overall area of 9.5 ha and comprises approximately 8.6 ha of land suitable for the purposes of rural subdivision. The water supply easement encloses approximately 0.9 ha along the western boundary which was not assessed. The majority of unconstrained land comprises well drained, moderately deep to deep, gravelly Red and Brown Kandosols on gentle slopes up to 1%. No area of constrained land was identified.

In accordance with the *Land Suitability Guidelines* (NTG 2013) the majority of unconstrained land is classified as Class S1 – Highly Suitable for rural living.

There are minor constraints associated with erosion risk – some slopes up to 1%; and onsite wastewater management - due to the relatively high proportions of surface and subsoil gravels across the site. These can be addressed through erosion and sediment control (ESC) measures to account for the slope of the land; and, given the soils are moderately deep to deep, by the use of slightly larger effluent disposal areas, alternate land application and / or alternate treatment systems for wastewater treatment.

The threatened species *Cycas armstrongii* was scattered within the site. Liddle (2009) provides a range of options, including salvage, in relation to management of this species during the development process.

Weed management for Gamba grass (*Andropogon gayanus*) should be implemented in accordance with the Weed Management Act and guidelines provided by the NT Weeds Branch (see WMB 2014). Given the upland location of the unconstrained land a flood study is not likely to be required.

# 1. Introduction

VPS Land Assessment and Planning was commissioned to conduct a Land Suitability Assessment (LSA) of Lot 15 Hundred of Strangways (176b Bees Creek Road, Bees Creek) to assess the potential of the land for subdivision.

This report presents the results of the LSA. It provides an assessment of the issues and opportunities of the site in the context of the NT *Land Suitability Guidelines* (NTG 2013) and identifies other issues that may affect the suitability of the site for subdivision.

The *Land Suitability Guidelines* (NTG 2013) define land suitability as:

*The fitness of a given area for land utilisation type (or land use), or the degree to which it satisfies the land user.*

The *Guidelines* address seven land suitability categories. These categories are:

- Drainage
- On-site wastewater management
- Erosion risk
- Soil salinity
- Acid sulphate soils
- Storm tide flooding
- Riverine flooding.

These categories are then assigned *suitability classes* in accordance with Table 2 of the *Guidelines* following assessment of the *relevant* characteristics identified through a review of existing land information and field investigations. Suitability classes 1-2 are considered to be generally 'unconstrained', while suitability classes 3-5 are considered to varying degrees to be 'constrained'. Land classified as suitability class 3-5 (constrained) may prevent development from proceeding or require additional inputs in terms of design, planning and on-going management (NTG 2013).

A detailed *Land Capability Assessment* (LCA) for On-site Wastewater Management has not been undertaken as part of this assessment.

## 2. Background

### 2.1. Site location

Lot 15 Hundred of Strangways is located in Bees Creek around 10kms southeast of Palmerston (Figure 1).

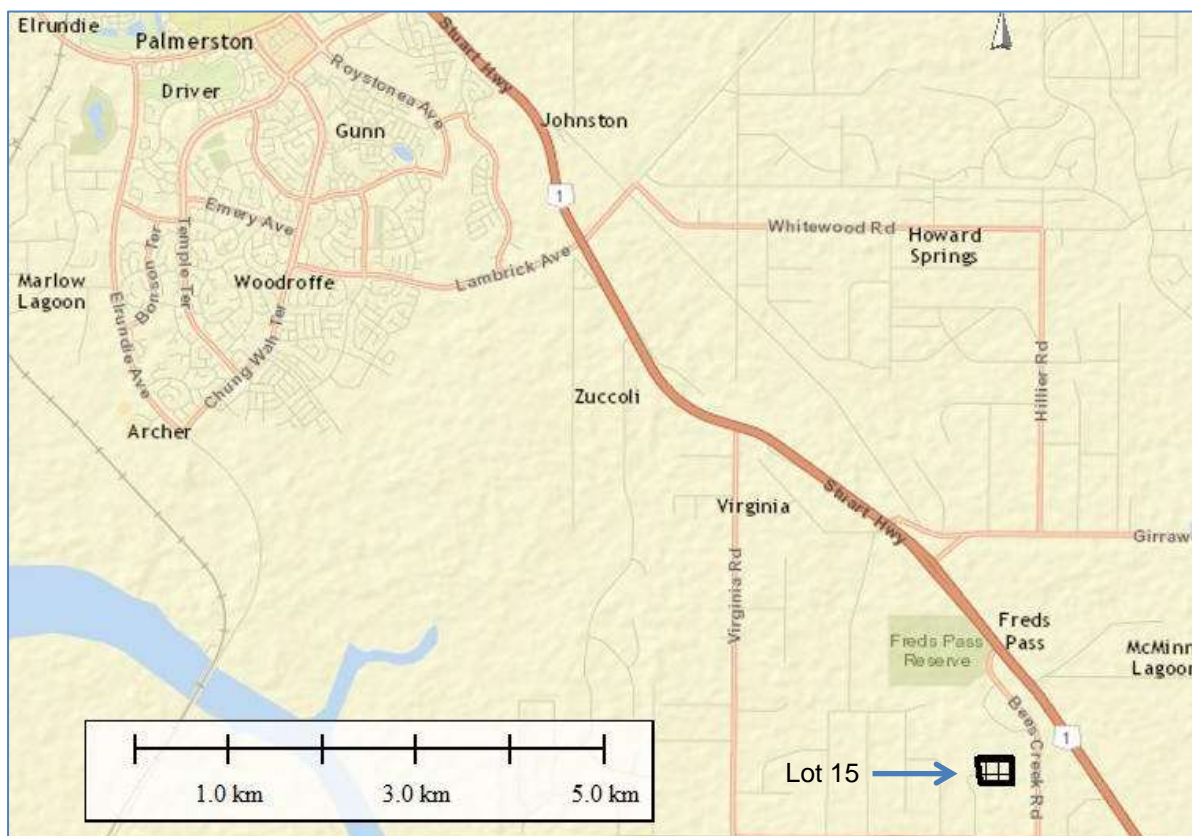


Figure 1: Location of Lot 15

### 2.2. Site Description

Lot 15 is currently zoned RL - 'Rural Living'. It has an existing dwelling in the southeast of the block within a small area of clearing (~0.25ha) with the balance of the block under native vegetation. Two areas of disturbance, that are likely associated with historical investigation for gravel extraction, are clearly visible on the western side of the block and covered with regrowth (Figure 2). Access to the block from Bees Creek Road is via a Right of Way through the adjoining block to the south (Lot 11) with access to Holly Road across a water supply (pipe) easement running along the western boundary of the lot (Figure 2). The water supply easement encloses approximately 0.9 ha along the western boundary which was not assessed.

Under the *NT Planning Scheme*:

- The primary purpose of land zoned RL (Rural Living) is to provide for a range of activities including residential, agricultural and other rural activities.



- Minimum lots sizes shall be 2ha (must all be zoned RL) with a minimum of 1ha of unconstrained land (contiguous with proposed unconstrained access)
- Larger lot sizes can be used facilitate the separation between potentially incompatible uses and restrict closer settlement
- Where there is no access to reticulated sewer it must be demonstrated that each lot will has adequate land suitable for onsite wastewater treatment and disposal.

**Table 1 Summary of development on Lot 15**

Council Area	Litchfield Shire
Planning Zone	RL - Rural Living
Allotment Size	Lot 15 comprises approximately 9.5 ha (23.5acres) Approximately 0.9 ha is contained within the water supply easement along western boundary
Water supply	Lot 15 connected to reticulated water supply
Wastewater	Not connected to reticulated sewer network Onsite wastewater treatment and disposal required Existing dwelling utilises septic system
Water Control District	Darwin Rural - bore permits will only be required if any/all proposed lots are not connected to the reticulated water supply
Building Control Area	Yes



**Figure 2 Location and access for Lot 15**

## 3. Desktop Review

### 3.1. Climate

The Bees Creek area experiences a monsoonal climate with two broad seasons; the “Dry Season” during which little to no rainfall occurs between April and September and the “Wet Season” over summer during which maximum rainfall generally occurs between November and March. The nearest rainfall data is collected at Humpty Doo Collard Road (Station Number: 14226) (BOM 2016) and shown in Table 2. There is no site specific evaporation data available for this site however the BOM map of annual “Average pan evaporation 1975-2005” shows the Darwin region lies within an area that experiences 2000-2400mm average annual evaporation (which exceeds annual rainfall).

**Table 2 Humpty Doo Collard Road (14226) Monthly Rainfall 1987-2015 (BoM 2016)**

Statistic	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Mean	455	361	332	94	20.3	0.3	0.7	4.6	17.3	75	172	310	1855
Median	410	330	315	79.4	5.9	0	0	0.2	8.5	66	171	282	1831
Lowest	223	114	93	0.4	0	0	0	0	0	0	63	61	1381
Highest	846	837	686	501	113	2.2	12.6	95.6	110	222	301	895	2508

### 3.2. Land Resources

#### *Land Unit Mapping*

The Department of Land Resource Management (DLRM) has published land unit mapping over the subject land (Fogarty *et al* 1984) published at a scale of 1:25000. At this scale, the smallest area feature shown on a printed map is 0.4cm<sup>2</sup> which represents around 2.5ha on the ground (McKenzie *et al* 2008). Land unit mapping is therefore not sufficiently detailed to identify soil-landscape features and characteristics (constraints) that are potentially important for intense land uses such as small lot subdivision. Furthermore, some published map unit boundaries and/or map unit descriptions may be inaccurate due to the historical mapping processes. According to Fogarty *et al* (1984), Lot 15 comprises land units 1c (Rapidly drained) and 3b (well drained) with land unit 3b covering the majority of the site (Table 3 and Figure 3).



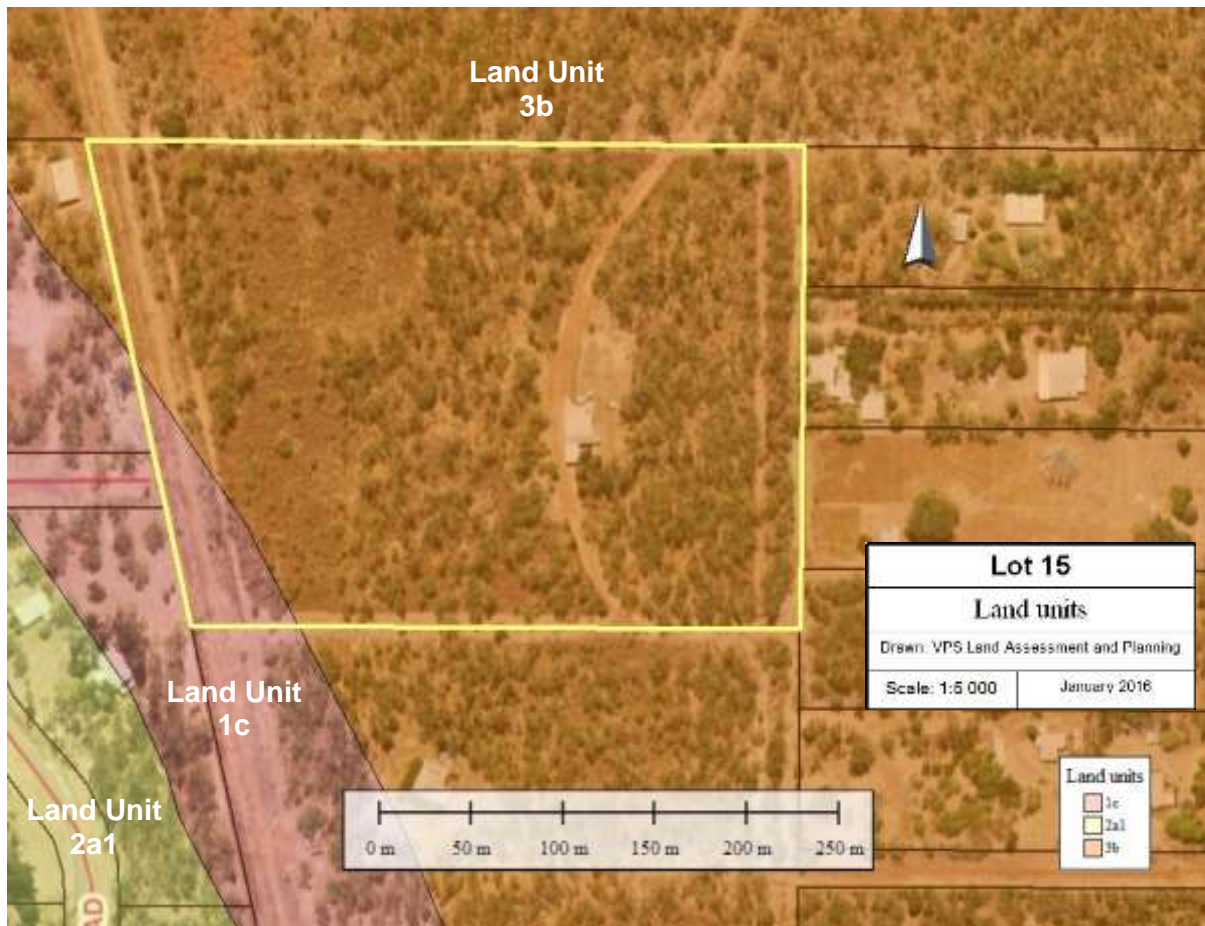


Figure 3 Land units across Lot 15 (mostly 3b)

**Table 3 Summary of land unit descriptions (after Fogarty et al 1984)**

Land Unit	Landform	Slope	Soils	Drainage	Vegetation
1c	Low scarps and short steep slopes Extensive outcrop and surface stone	5 - 20%	Shallow Gravelly Leptic Rudosols (Shallow gravelly Lithosols)	Rapid	Woodland; <i>Eucalyptus miniata</i> , <i>Corymbia bleeseri</i> with <i>E. tetradonta</i> , <i>E. tectifera</i> , <i>C. foelscheana</i> ; mid storey of <i>Xanthostemon paradoxus</i> , <i>Terminalia ferdinandiana</i> , <i>Buchanania obovata</i> , <i>Cycas armstrongii</i> , <i>Livistona humilis</i> ; grasses of <i>Sorghum plumosum</i> , <i>Eriachne avenacea</i> , <i>Chrysopogon latifolius</i> , <i>Heteropogon contortus</i> .
2a1	Rises and associated upper slopes	0.5 - 4%	Shallow Gravelly Leptic Rudosols with minor Moderately Deep Gravelly Brown Kandosols. (Shallow gravelly Lithosols with some moderately deep, gravelly, yellow earths.).	Well drained	Open Woodland, minor Woodland; <i>Eucalyptus miniata</i> , <i>E. tetradonta</i> , or <i>Corymbia foelscheana</i> , <i>C. confertifolia</i> , <i>E. tectifera</i> with <i>C. bleeseri</i> , <i>Erythrophleum chlorostachys</i> , <i>Xanthostemon paradoxus</i> ; mid storey of <i>Buchanania obovata</i> , <i>Grevillea decurrens</i> , <i>Calytrix exstipulata</i> , <i>Petalostigma quadriloculare</i> ; grasses of <i>Schizachyrium fragile</i> , <i>Chrysopogon latifolius</i> , <i>Heteropogon triticeus</i> , <i>Themeda triandra</i> , <i>Eragrostis</i> sp., annual <i>Sorghum</i> sp
3b	Flat to very gently undulating upland surface	0.5 - 2.5%	Moderately Deep to Deep Gravelly Brown Kandosols, minor Red Kandosols. (Moderately deep to deep, gravelly, yellow earths, minor red earths) 10 - 30% ferruginous gravels.	Well drained	Woodland; <i>Eucalyptus miniata</i> , <i>E. tetradonta</i> with <i>Corymbia porrecta</i> , <i>C. foelscheana</i> , <i>C. confertiflora</i> , <i>Erythrophleum chlorostachys</i> ; mid storey of <i>Terminalia ferdinandiana</i> , <i>Xanthostemon paradoxus</i> , <i>Livistona humilis</i> , <i>Petalostigma pubescens</i> ; grasses of <i>Sorghum intrans</i> , <i>S. plumosum</i> , <i>Eriachne avenacea</i> , <i>Chrysopogon latifolius</i> , <i>Panicum mindanaense</i> .

### **3.3. Onsite Waste Water Risk**

Risk mapping for onsite wastewater disposal (DoH 2011) ranks land units in terms of *High*, *Moderate* and *Low Risk*. When expressed in terms of *land capability* (the capability of a site to support sustainable onsite wastewater disposal) the rankings relate to Low Capability, Moderate Capability and High Capability respectively. DoH (2011) rates Land unit 3b as *Moderate Risk* (Moderate Capability) and Land units 1c as *High Risk* (Low capability) for onsite wastewater management due to soil depth, drainage and/or soil type.

### **3.4. Water Resources**

Lot 15 lies within the Darwin Rural Water Control District and is serviced by a reticulated water supply.

### **3.5. Riverine Flooding**

Areas at risk of riverine flood risk within the Elizabeth and Blackmore catchments have been mapped by Cardno (2014). This mapping shows that Lot 15 is well outside areas mapped as being at risk of riverine flooding and therefore not affected.

### **3.6. Acid Sulfate Soils**

Mapping by DLRM (Hill and Edmeades 2004) indicates that Lot 15 does not lie within areas affected by actual or potential acid sulfate soils.

### **3.7. Storm Tide Flooding**

Mapping by DLRM (2011) shows that Lot 15, being well inland from the coast, is not at risk from storm tide flooding.

### **3.8. Soil Salinity**

The subject land is not regarded as being at risk of soil salinity as the land is located in a moderate to high rainfall area. Salinity hazard mapping by Tickell and Tyson (1994) places Lot 15 within an area of *Low Risk* of soil salinity (Figure 4).

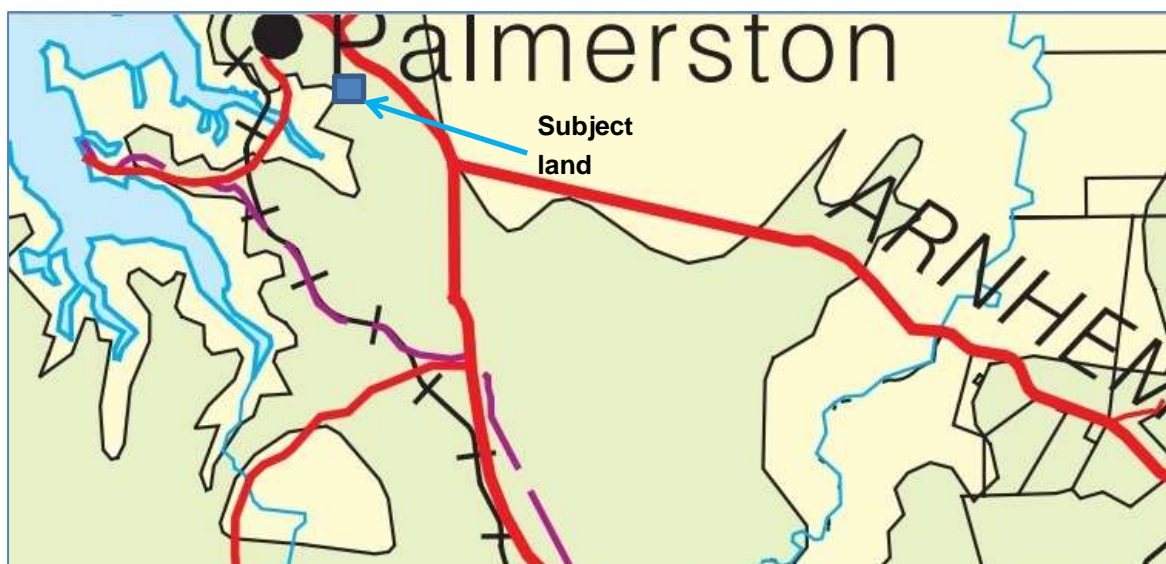


Figure 4 Location of subject land in relation to Salinity Hazard Map of NT (1994)

### 3.9. Heritage

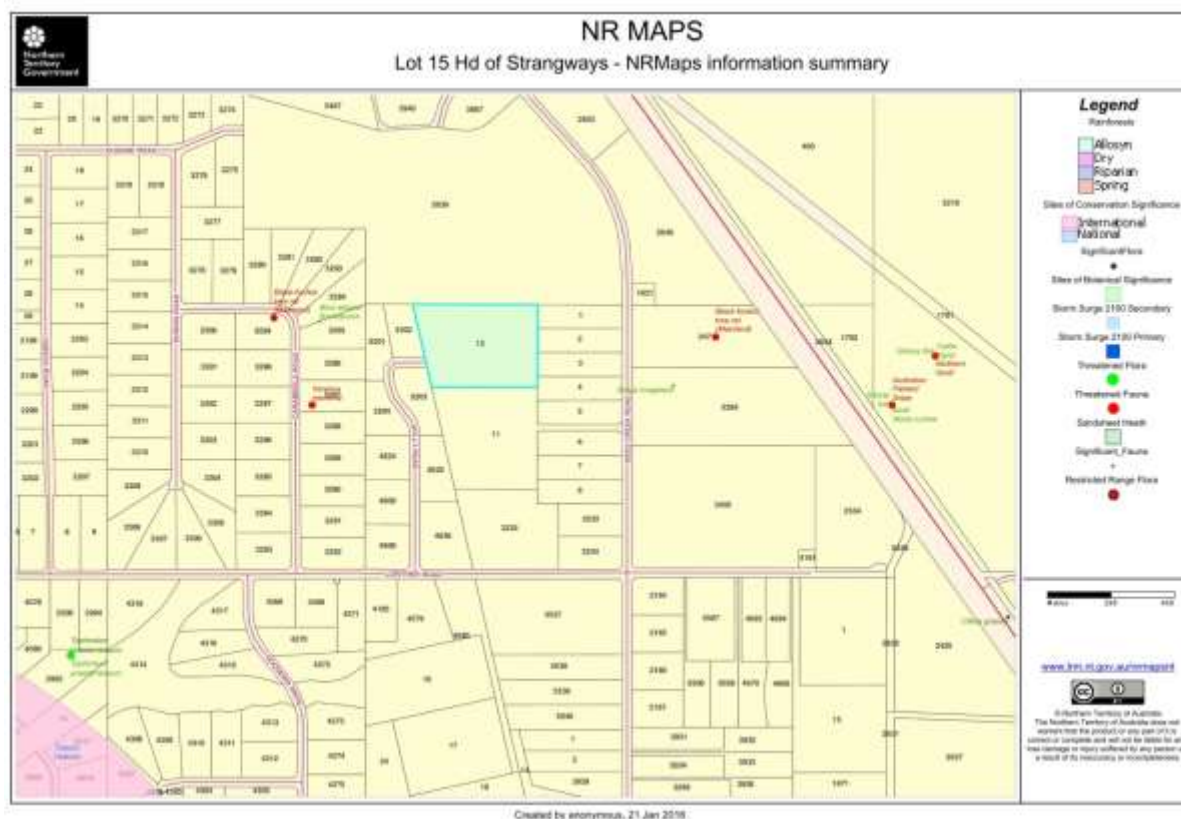
Lot 15 is located in the vicinity of the World War 2 Sattler airfield. Information from the Heritage Branch (Department of Lands, Planning and Environment) states that there are “no declared heritage places nor any previously recorded Aboriginal archaeological sites located within the boundaries of Lot 15, Hundred of Strangways (176b Bees Creek Road, Bees Creek).”

### 3.10. Environmental Issues

Lot 15 does not lie within or near a Litchfield Shire Priority Environmental Management (PEM) Area.

An assessment of the potential threatened flora and fauna species that may occur within or nearby Lot 15 was undertaken. A search of the Protected Matters database identified threatened species listed under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) that could potentially be found within the property and surrounding areas, while a search of the NRM *InfoNet* was used to source information on species listed under the *Territory Parks and Wildlife Conservation Act* (TPWC Act). Data from NR Maps (DLRM 2016) shows that no threatened species have been recorded within Lot 15 or on adjoining land (Figure 5).

Land unit data indicates that the threatened plant species *Cycas armstrongii* may occur within the project area.



**Figure 5 NR Maps shows no flora / fauna of Conservation Significance on Lot 15**

Based on existing records and a review of the habitat requirements of the territory and federally-listed threatened species, twelve (12) threatened species may exist in the project area. These species are listed in Table 4. While these species have been identified as potentially occurring within the property, targeted surveys have not been performed to validate this and there are no records of any listed species being recorded within 0.5km of Lot 15. The majority of the species identified through the threatened species assessment are not endemic to the region and are generally broad ranging in their distribution.

Of the bird species listed in Table 4, the Partridge Pigeon (*Geophaps smithii smithii*) and Red Goshawk (*Erythrotriorchis radiatus*) may occur within the project area. Very little is known about the distribution of the northern subspecies of Masked Owl (*Tyto novaehollandiae kimberli*) in the NT (Woinarski & Ward 2012a). The project area may constitute suitable habitat for the species, though its occurrence is likely restricted by a lack of mammalian prey due to fire and non-native predators (cats - *Felis catus*) in the area. No recent records of Gouldian Finch (*Erythrura gouldiae*) occur close to the project area.

For most of the mammals listed in Table 4, inappropriate fire regimes and habitat loss have been identified as key threatening processes. Brush-tailed Rabbit-rat (*Conilurus penicillatus*) and Black-footed Tree-rat (*Mesembriomys gouldii*) are likely impacted by frequent fires affecting habitat suitability, largely due to a reduction in the availability of food, and tree hollows (Hill 2012; Woinarski & Hill 2012). Habitat within the project area is not particularly suitable for these species; Lot 15 is bounded by small lots to the east and west some of which have been cleared, around 3ha of the Lot 15 has been previously cleared, the water



supply easement isolates the site to the west and Bees Creek Road isolates it from the east. Invasion of Gamba Grass (*Andropogon gayanus*) will have affected some species and will exacerbate the impact of fires. Furthermore there are no records of these species occurring in proximity to the project area.

The arrival of Cane Toads (*Rhinella marina*) in the Top End has been linked with the decline of Northern Quoll (*Dasyurus hallucatus*), Northern Brush-tailed Phascogale (*Phascogale pirata*), Fawn antechinus (*Antechinus bellus*) and Plains Death Adder (*Acanthophis hawkei*) (Doody *et al.* 2009; Phillips *et al.* 2010; Woinarski & Ward 2012b). Lot 15 may contain potentially suitable habitat for these species; however, the likely presence of Cane Toads is likely to have significantly reduced the likelihood of their occurrence and habitat fragmentation from existing small lots and isolation caused by the water supply easement and major roads.

**Table 4 Threatened species that may occur within Lot 15**

Species	Common name	EPBC Status	TPWC Status
<b>Birds</b>			
<i>Erythrotriorchis radiates</i>	Red Goshawk	Vulnerable	Vulnerable
<i>Erythrura gouldiae</i>	Gouldian Finch	Endangered	Vulnerable
<i>Geophaps smithii smithii</i>	Partridge Pigeon (eastern)	Vulnerable	Vulnerable
<i>Rostatula australis</i>	Australian Painted Snipe	Endangered	-
<i>Tyto novaehollandiae kimberli</i>	Masked Owl (northern)	Vulnerable	Vulnerable
<b>Mammals</b>			
<i>Antechinus bellus</i>	Fawn Antechinus	Vulnerable	
<i>Conilurus penicillatus</i>	Brush-Tailed Rabbit-rat / Tree-rat	Vulnerable	Endangered
<i>Dasyurus hallucatus</i>	Northern Quoll	Endangered	Critically Endangered
<i>Mesembriomys gouldii</i>	Black-footed Tree-rat	Endangered	Vulnerable
<i>Phascogale pirata</i>	Northern Brush-tailed Phascogale	Vulnerable	Vulnerable
<i>Saccolaimus saccolaimus</i>	Bare-rumped Sheath-tail Bat	Critically Endangered	Data deficient
<b>Reptiles</b>			
<i>Acanthophis hawkei</i>	Plains Death Adder	Vulnerable	Vulnerable

Following this review, it is considered unlikely that any of the listed species would be located within Lot 15.

## 4. Field assessment

### 4.1. Overview

Field assessment was undertaken 20 January 2016. This involved traversing the area on foot with a hand held Garmin GPS Map 64S and included hand augering / digging holes and describing vegetation as required to assess soil / site characteristics and to validate land unit descriptions. The purpose of the field survey was to accurately delineate any areas of environmental constraints and map unconstrained land suitable for rural subdivision.

Due to the relative uniformity of the uncleared vegetation a detailed assessment was undertaken at only one site within a small pit near the existing residence (see Appendix 1). At several other locations across the block, holes were dug to confirm soil characteristics and dominant flora recorded to confirm the vegetation characteristics. No areas of constrained were identified during the field assessment, a finding which is consistent with land unit mapping.

Vegetation species in the dominant strata were used to describe vegetation types at a number of sites for the purpose of mapping.

No species listed in Table 4 were recorded during the field assessment.

### 4.2. Soil and Landscape Assessment

Filed assessment found that the site comprises soils and vegetation generally consistent with land unit 3b, except within the historical cleared area. As previously discussed, land unit 3b comprises well drained, Moderately Deep to Deep, Gravelly Brown and Red Kandosols. The disturbed areas along the western edge of the lot, although previously cleared, do not appear to have been used for gravel extraction as the land surface appears generally consistent across the block. No areas of land unit 1c were identified though it could be present in the water pipeline easement.

*Eucalyptus miniata* / *tetrodonta* woodland (as per land unit 3b) dominates the uncleared areas whilst the disturbed areas are dominated by *Acacia* sp and *Calytrix exstipulata* with emergent *Eucalyptus tetradonta* (Figure 6).

Leaf litter cover was extensive at the time of inspection and no areas of active erosion were identified. The Emerson Dispersion Test (See Appendix 1) showed that the surface soils were generally stable (neither slaking nor dispersive when wet); however, the subsoils were unstable in water (slaked) and may be susceptible to erosion if exposed.

*Cycas armstrongii* was recorded at 3 locations across the block (Figure 6).

Patches of Gamba Grass (*Andropogon gayanus*) were encountered across the site. A small African mahogany was identified in the northwest corner of the lot.



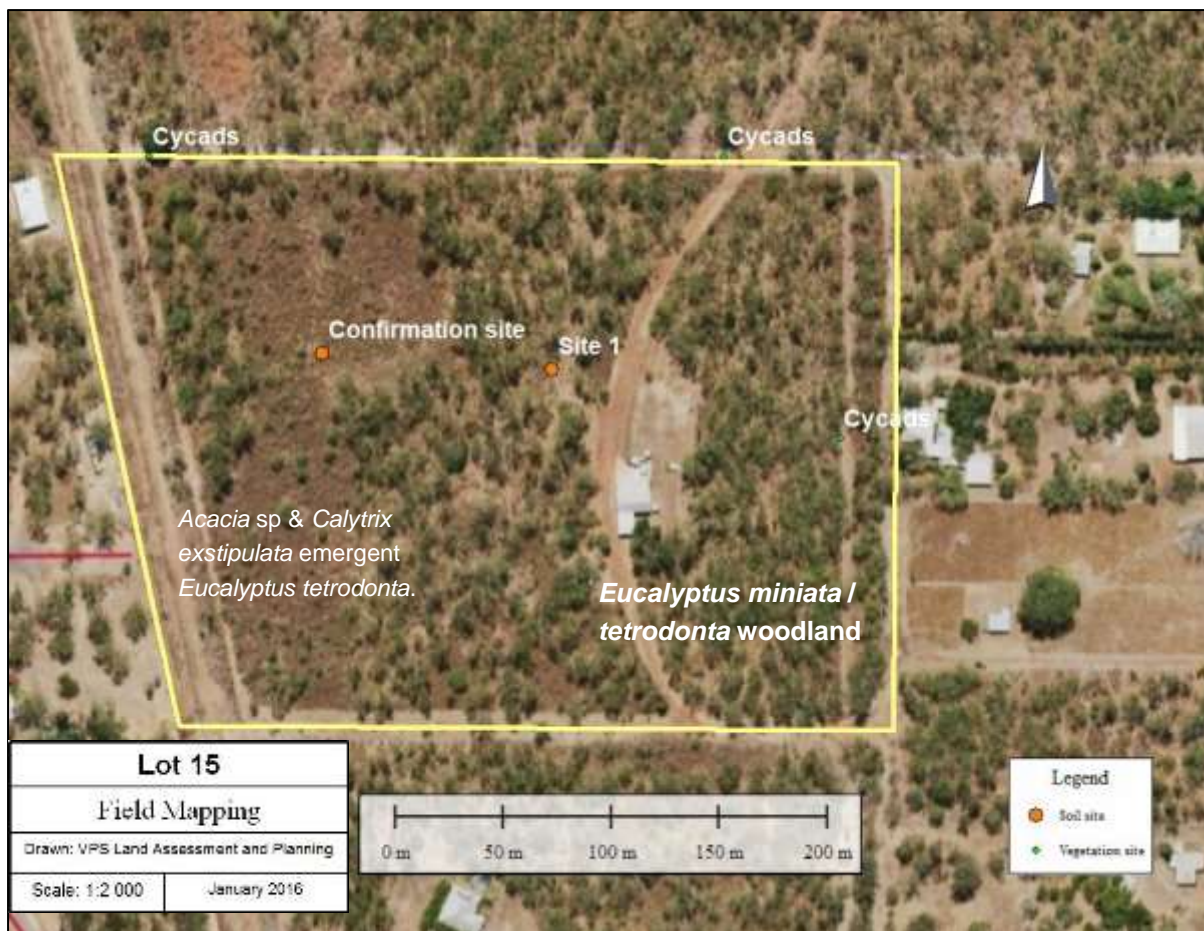


Figure 6 Soil site and field mapping

## 5. Land Suitability Assessment

### 5.1. Drainage

The site comprises well drained, moderately deep to deep, gravelly Red and Brown Kandosols on low slopes up to 1%.

### 5.2. On-site Wastewater Management

For onsite wastewater management, field inspection found that the land comprised Well drained, moderately deep to deep, gravelly Red and Brown Kandosols on slopes up to 1%. In accordance with Table 3.2 Assessment Framework for Unsewered Development for Subdivision Developments (DoH, 2014:pp 20) overall this land would be defined as *Moderate* to *Low Risk* (Moderate to High capability) for onsite wastewater disposal, suitable for septic systems using Standard Designs and Sizing Tables. There are no waterways, as defined in AS/NZS1547:2012, within the subject land.

There are a number of options available when site and/or soil characteristics limit the capability (*Low* or *Moderate*) of the land to achieve appropriate effluent treatment levels. These include increasing the size of the absorption / disposal area, using better quality imported fill or raised beds/mounds. Improving the quality of the effluent may also be considered by using Alternative Septic Treatment Systems (ASTS). See Appendix 2 for summary of other setbacks.

### 5.3. Erosion Risk

In this context, assessment of *erosion risk* is associated with the potential for accelerated erosion (above natural levels) associated with development of the land. Field assessment found that the land across the site comprises slopes generally between 0.5% and 1%. No areas of active erosion were identified within the block.

As per the Emerson Aggregate Test results for each soil site (Appendix 1), the surface soils were generally stable (neither slaking nor dispersive when wet) however subsoils slake when wet and may be erodible if disturbed and exposed.

According to the *Land Suitability Guidelines* (NTG 2013), land with slopes between 0.75% and 5% has a moderate to high potential for accelerated soil erosion by water. It is likely that the significant ground cover has contributed to the lack of active erosion visible at the site and the landscape presents only a moderate risk of erosion by water.

### 5.4. Soil Salinity

The subject land has a low risk of soil salinity (Tickell and Tyson 1994)

### 5.5. Acid Sulfate Soils

The subject land is not affected by acid sulfate soils (Hill and Edmeades 2004)

### 5.6. Storm Tide Flooding

Mapping by DLRM (2011) shows the subject land is not affected by storm tide flooding.

### 5.7. Riverine Flooding

There is no evidence to suggest that Lot 15 is at risk from riverine flooding.

### 5.8. Environmental Assessment

The EPBC assessment indicated that Lot 15 may contain suitable habitat for the Brush-tailed Rabbit-rat (*Conilurus penicillatus*) and Black-footed Tree-rat (*Mesembriomys gouldii*). However, this is considered unlikely due to limited areas of suitable habitat; the undisturbed patches of woodland in the area are disconnected by small lot subdivision and / or major roads / easements; many rural lots have free ranging dogs within fenced boundaries and, though fires do not appear to be frequent, the presence of Gamba Grass (*Andropogon gayanus*) will further exacerbate the impact of burning.

Although not listed as likely habitat, scattered *Cycad armstrongii* were identified. The *NT Cycad Management Program* (Liddle 2009) offers a range of management options when developing land containing cycads including “salvage” – the recovery of live plants from areas being cleared for roads or development.

### 5.9. Weeds

Gamba Grass (*Andropogon gayanus*), a Class B weed (growth and spread to be controlled), was recorded during the field assessment.

The *NT Weeds Management Act* requires landholders and land managers to undertake and control weeds on their property. It is recommended that weed management be undertaken at the property, particularly during establishment of lot boundaries and other infrastructure, as vehicle movement and land clearing provide ideal conditions for weed spread.

Advice on weed management is available in the *NT Weed Management Handbook* and individual weed management plans which are available from <http://www.lrm.nt.gov.au/weeds> (WMB 2014).

## 5.10. Land Suitability

An assessment of environmental constraints and administrative requirements identified through an analysis of data used for the desktop review combined with field validated soil and landscape information was undertaken in accordance with requirements of relevant NT Government documents including:

- NT *Land Suitability Guidelines* (NTG 2013)
- NT *Planning Scheme*
- NT *Code of Practice for Small On-site Sewage and Sullage Treatment Systems and the Disposal or Reuse of Sewage Effluent* (DoH 2014a).

Based on the findings of the desktop review and site investigation, an assessment of the site was undertaken to determine land suitability classes and provide a summary of the issues for each land parcel. The suitability class ratings have been applied only to the land mapped as unconstrained (i.e. from a drainage perspective). Land mapped as constrained (i.e. poorly drained or seasonally inundated) has not been considered in the land suitability assessment.

Suitability classes can be improved through the use of engineering works and application of certain management practices. As per the Land Suitability Guidelines (NTG 2013) a lower land suitability rating “*does not necessarily prevent a land use from occurring, but in most situations indicates that additional inputs in terms of costs, design, planning and ongoing management could be required in order to adequately address social, economic and environmental risks.*”

Table 5 contains a summary of the land suitability assessment for Lot 15.

**Table 5 Land Suitability Assessment for Lot 15**

<b>Land Suitability Category</b>	<b>Lot 15 Assessment</b>	<b>Suitability Class</b>
<p><b>Drainage</b></p> <p>Constrained land comprises areas that are wet or saturated either at, above or close to the land surface for a period of weeks to months typically during the wet season but potentially extending into the dry season as a result of rainfall, landscape function and/or position or soil hydrology factors.</p>	<p>The lot comprises Well drained Red and Brown Kandosols</p>	<p>S1 - Highly Suitable</p>
<p><b>Onsite Wastewater Management</b></p> <p>Constrained soil -landscapes have one or more of the following characteristics:</p> <ul style="list-style-type: none"> <li>- Slopes greater than 5 %</li> <li>- Imperfectly to very poorly drained</li> <li>- Contain minimal clay (20 %) at depth</li> <li>- Shallow soils (&lt;0.5m)</li> <li>- Extensive exposed rock (&gt;10 %)</li> <li>- Greater than 25 % gravel</li> </ul>	<p>Soil site assessed in relation to onsite wastewater management (Appendix 1). All sites were assessed as having “Moderate” capability (Moderate Risk) for onsite wastewater management. However, given the adequate soil depth across the site, use of slightly larger effluent disposal areas to increase the volume of receiving soil will adequately mitigate the subsoil gravel issue meaning the site can highly suitable.</p> <p>A range of other options is available to achieve appropriate effluent treatment and disposal on land where site and/or soil characteristics limit the capability to <i>Low</i> or <i>Moderate</i>. These include using better quality imported fill or using raised beds/mounds.</p>	<p>S1 - Highly Suitable</p>
<p><b>Erosion Risk</b></p> <p>Constrained land comprises soil landscapes that have a moderate to very high erosion risk (Suitability Classes 3-5).</p> <p>S3 - slopes 0.75-5%</p> <p>S4/S5 – slopes &gt;5%</p>	<p>Land slopes up to 1% were recorded – Moderate erosion risk on slopes 0.75 – 1%. No active erosion identified.</p> <p>Emerson Aggregate Test results show that surface soils area stable when wet (neither slaking nor dispersive). Subsoils showed minor slake when wet and may be susceptible to erosion when exposed.</p> <p>A range of physical and management options for erosion and sediment control are available for use in the development of this land.</p>	<p>S1 – S2 Moderately to Highly Suitable</p>
<p><b>Soil Salinity</b></p> <p>Land is constrained if soil salinity &gt;4 dS/m ECe</p>	<p>Field measurements indicate very low soil ECe. Salinity hazard mapping by Tickell and Tyson (1994) places Lot 15 within an area of Low Risk of soil salinity.</p>	<p>S1 - Highly Suitable</p>
<p><b>Acid Sulphate soils</b></p> <p>Land is constrained if soils contain greater than 0.02 % oxidisable sulphur</p>	<p>Mapping by Hill and Edmeades (2004) shows that the land is not affected by acid sulfate soils.</p>	<p>S1 - Highly Suitable</p>
<p><b>Storm tide flooding</b></p> <p>Coastal areas at elevations below the Primary (100 year Annual Recurrence Interval (ARI) Storm Tide inundation extent are constrained</p>	<p>Mapping by DLRM (2011) shows that Lot 15 is not affected by storm tide flooding.</p>	<p>S1 - Highly Suitable</p>
<p><b>Riverine Flooding</b></p> <p>Land is constrained if it is below the 1% Annual Exceedance Probability (AEP) flood level.</p>	<p>Lot 15 is not affected by riverine flooding.</p>	<p>S1 - Highly Suitable</p>



## 6. Conclusion

This land suitability assessment has found that Lot 15 is around 9.5 ha (the 1ha within the water supply easement was excluded from assessment). The 8.6 ha of unconstrained land is classed as *S1 – Highly Suitable* for subdivision (Table 5). No area of constrained land was identified

There are minor constraints associated with erosion risk – some slopes up to 1%; and onsite wastewater management - due to the relatively high proportions of surface and subsoil gravels across the site. These can be addressed through erosion and sediment control (ESC) measures to account for the slope of the land; and with the soil across the site being moderately deep to deep, the use of slightly larger effluent disposal areas, alternate land application and / or alternate treatment systems for wastewater treatment would effectively mitigate these minor issues.

A Weed management plan may be required in accordance with the Weed Management Act and guidelines provided by the NT Weeds Branch (see WMB 2014). An erosion and sediment control plan (ESCP) for subdivision may be required.

Scattered *Cycad armstrongii* were identified within Lot 15. The *NT Cycad Management Program* (Liddle 2009) offers a range of management options when developing land containing cycads including “salvage” – the recovery of live plants from areas being cleared for roads or development.

## 7. References

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## 8. Appendices

### Appendix 1 Soil Assessment

#### Soil and site descriptions

At all sites, the soil and landscape were described in accordance with the *Australian Soil and Land Survey Field Handbook – Third Edition* (NCST 2009) and *The Australian Soil Classification – Revised Edition* (Isbell 2002).

#### Land Capability for Onsite Wastewater Management:

A detailed *Land Capability Assessment* (LCA) has not been undertaken for Lot 15

To address the basic requirement of *Northern Territory Land Suitability Guidelines* (NTG 2013) all described soils are assessed in relation to the capability of the land at that site to support onsite wastewater management. For each described soil, the site is assessed and rated with reference to Table 3.7 '*Land Capability Rating Matrix*' from DoH (2014b:32-34). This matrix is used to assess the soil and site characteristics and provide an overall rating for the site in its natural or current condition with respect to its capability to support onsite wastewater management.

Land capability ratings in this table DO NOT take into consideration factors that can improve site capability such as wastewater treatment system selection (eg installing an AWTS in place of traditional septic), modifications to design / installation or a combination. Consideration of these and other factors would be included in a detailed LCA.

The overall rating for each soil site is generally determined by the most limiting rating for a feature.

**High Capability** (Low Risk) means the site is has a very good or high potential (low constraints) for effluent management.

**Moderate Capability** (Moderate Risk) means the site has features (constraints) which impose some limitations for effluent disposal but these constraints can be managed.

**Low capability** (High Risk) means the site is not well suited for effluent disposal and advanced treatment and land application systems will need to be employed to overcome limitations.

For wastewater (effluent) land application, field texture is used to determine the Soil Texture Class of the receiving soil (DoH 2014a). For this report, the depth of the nominal receiving soil layer has been set at 0.6m. Therefore, regardless of the soil classification (eg Tenosol,

Kandosol etc), the soil layer with the heaviest field texture (ie highest clay content and likely most restrictive layer) within the top 0.6m of the soil profile is used to assign indicative Soil Texture Class. For soils shallower than 0.6m the heaviest or deepest layer within the soil profile is used.

Table below shows the *Soil Texture Class* and equivalent *Soil Category* based on field texture.

<b>Soil Texture Class Code of Practice (DoH 2014a:32)</b>	<b>Equivalent Soil Category (AS/ANZS1547:2012)</b>	<b>Soil field textures per Class / Category (based on NCST 2009)</b>
Sand	1	Sand
Sandy Loam	2	Loamy sand, Clayey sand, Sandy loam
Loam	3	Loam, Silty loam
Clay Loam	4	Sandy clay loam, Clay loam, Clay loam (Sandy), Silty clay loam
Silty Clay	5	Light clay, Light medium clay
Clay	6	Medium clay to Heavy Clay

### **Soil Drainage and Wastewater treatment**

As per NCST (2009:204), in soils that are *Rapidly Drained* “...*Excess water flows downward rapidly if underlying material is highly permeable There may be rapid subsurface lateral flow during heavy rainfall provided there is a steep gradient. Soils are usually coarse-textured, or shallow, or both.*”

As such, *Rapidly drained* land has *Low Capability* for onsite wastewater due to high potential for offsite transport of pathogens and/or organic contaminants. This limitation can be addressed through wastewater treatment system selection, modifications to design / installation or a combination



**Site 1 – Deep, Very Gravelly, Red Kandosol (Gravelly Red Earth)**  
(ASC: KAAA)



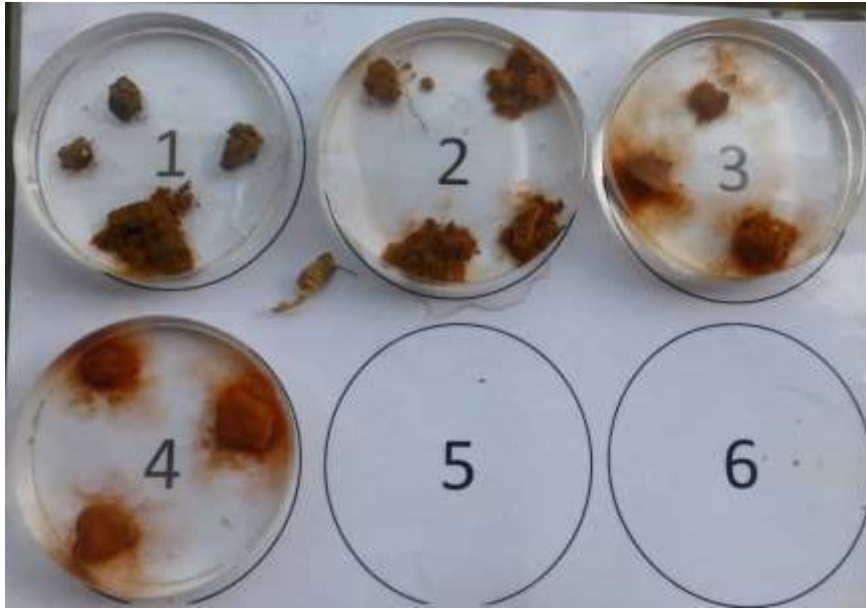
<b>Slope:</b> <1%	<b>Stopped by:</b> Coffee rock at 2m		<b>Drainage:</b> Well	
<b>Landform:</b> Plain	<b>Surface water (m):</b> >50m		<b>Dry Surface colour:</b> 10YR 5/4 Yellowish Brown	
<b>Erosion:</b> Nil active	<b>Surface gravel (%):</b> 30%		<b>Surface:</b> Red termitaria, Site within existing small gravel pit	
<b>Runoff:</b> Slow	<b>Rock outcrop:</b> nil			
<b>Vegetation:</b> <i>Eucalyptus miniata</i> , <i>Eucalyptus tetradonta</i> , <i>Acacia sp</i> , <i>Calytrix exstipulata</i> , <i>Planchonia careya</i> , <i>Sorghum sp</i>				
<b>Soil Horizon (Level)</b>	<b>A1 (1)</b>	<b>B2 (2)</b>	<b>B2 (3)</b>	<b>B2 (4)</b>
<b>Depth (cm)</b>	0 – 10	10 - 40	40 - 90	90-0130 <sup>+</sup>
<b>Boundary</b>	Clear	Gradual	Diffuse	
<b>Field Texture</b>	Clayey sand	Sandy loam (Fine sand)	Sandy clay loam (Fine sand)	Clay loam (Fine sand)
<b>Structure</b>	Massive earthy	Massive earthy	Massive earthy	Massive earthy
<b>pH (1:5 H<sub>2</sub>O)</b>	5.9	6.0	6.0	5.9
<b>EC dS (1:5 H<sub>2</sub>O)</b>	0.016	0.012	0.010	0.014
<b>Dominant Colour</b>	10YR 4/4 Dark Yellowish Brown	7.5YR 5/8 Strong Brown	5YR 5/6 Yellowish Red	2.5YR 4/6 Red
<b>Mottles</b>	-	-	-	-
<b>Emerson</b>	8	2 (Slaking 1)	2 (Slaking 1)	2 (Slaking 1)
<b>Coarse Frags (%)</b>	50	50	60	70
<b>Wastewater - Soil Category</b>			4 – Clay loam	



Site 1 Soil surface



Sieved soils



**Emerson Test**

### Site 1 – Background Land Capability Assessment Matrix for On-site Wastewater Management from NT LCA Guidelines Table 3.7 (DoH 2014b:33-34)

This matrix is used to assess the soil and site characteristics and provide an overall rating for the site in its natural or current condition with respect to its capability to support onsite wastewater management.

Land capability ratings in this table DO NOT take into consideration factors that can improve site capability

Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Site Characteristics</b>				
<b>Drainage Class (NCST 2009)</b>	Moderately Well to Well drained	Imperfectly drained	Rapidly drained or poorly to Very poorly drained	<b>High</b>
<b>Runoff</b>	None or low	Moderate to high, need for diversionary structures	High to very high – diversion not practical	<b>High</b>
<b>Flood risk</b>	Never or <1 in 100	>1 in 100 and <1 in 20	<1 in 20	<b>High</b>
<b>Proximity to watercourses</b>	>50 m non-potable; >100 m potable	n/a	<50 m for non-potable; <100 m potable	<b>High</b>
<b>Slope</b>	<5%	5-10%	>10%	<b>High</b>
<b>Landslip</b>	Zero actual, or low potential for failure	Moderate to high potential for failure	Present or past failure	<b>High</b>
<b>Surface gravel (spatial cover)</b>	<20%	25-50%	>50%	<b>Moderate</b>
<b>Rock outcrop (spatial cover)</b>	<10%	10-20%	>20%	<b>High</b>
<b>Erosion potential</b>	Zero or minor erosion potential	Moderate to high erosion potential	High to severe erosion potential	<b>High</b>
<b>Exposure</b>	High sun and wind exposure	Moderate sun and wind exposure	Low sun and wind exposure	<b>High</b>
<b>Landform</b>	Hill crests, convex side slopes and plains	Concave sideslopes and footslopes	Floodplains and incised channels	<b>High</b>
<b>Vegetation Type</b>	Turf or pasture	Shrubs or open woodland	Dense forest with little understorey	<b>Moderate</b>
<b>Average Rainfall</b>	<800 mm/year	800 - 1400 mm/year	>1400 mm/year	<b>Low</b>
<b>Pan Evaporation</b>	>1400 mm/year	800 - 1400 mm/year	<800 mm/year	<b>High</b>

Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Soil Characteristics</b>				
<b>Fill</b>	No fill; or fill good quality	Some fill; or fill moderate quality	Extensive fill, or fill poor quality	<b>High</b>
<b>Soil category * (AS1547:2013)</b>	2 and 3	4 and 5	1 and 6	<b>Moderate</b>
<b>Profile depth</b>	>0.5 m	0.25-5 m	>0.25 m	<b>High</b>
<b>Presence of mottling</b>	None	Moderate	Extensive	<b>High</b>
<b>Coarse fragments</b>	<20%	20-40%	>40%	<b>Low</b>
<b>pH</b>	6-8	4.5 - 6	<4.5, >8	<b>High</b>
<b>Emerson + Aggregate Class</b>	4,6,8	2,3,5,7	1	<b>Moderate</b>
<b>Electrical Conductivity (ECe)</b>	<0.8 dS/m	0.8-4 dS/m	>4 dS/m	<b>High</b>
<b>Sodicity ESP %</b>	<6%	6-14%	>14%	<b>High</b>
<b>SITE RATING</b>				<b>Moderate</b>

\* Soil Category taken from the soil layer at a depth of 60cm or the deepest layer in shallower soil within the soil profile

+ Emerson Aggregate Class taken from the layer within the receiving soil 60cm below the soil surface or the deepest layer in shallower soil



**Confirmation Site – Moderately deep, Gravelly Brown Kandosol (Gravelly Yellow Earth)**



<b>Slope:</b> 0.5%	<b>Stopped by:</b> Gravel @ 0.55m	<b>Drainage:</b> Well drained
<b>Landform:</b> Plain	<b>Erosion:</b> Nil active	<b>Rock outcrop:</b> nil
<b>Runoff:</b> Slow	<b>Surface gravel (%):</b> 60%	<b>Surface:</b> Brown termitaria
<b>Vegetation:</b> <i>Eucalyptus tetradonta</i> , Shrubs: <i>Acacia sp</i> , <i>Calytrix exstipulata</i> , Grasses: <i>Sorghum sp</i> , <i>Andropogon gayanus</i> (Gamba grass)		



**Site 2 Soil surface**



## Appendix 2 Summary of setbacks relating to onsite wastewater disposal

### DoH. 2014. Code of Practice for Small On-site Sewage and Sullage Treatment Systems and the Disposal or Reuse of Sewage Effluent

7.5 Proximity of Septic Tank and Disposal Area to Site Features (page 34)		8.9 Siting and Setback Distances (m) for Aerated Wastewater Treatment Systems (page 76)	
Table 6 Setback Distances to Surface Feature	Minimum distance required in metres (m) from the closest point of effluent discharge to that site feature		8.9.3 Sub Strata/ Shallow Sub Surface Irrigation
Site Feature	1. Upslope from site feature	2. Downslope from site feature	(* 8.9.2 Surface Irrigation)
Building	6.0	3.0	1.5
Allotment boundary	4.5	2.5	0.5 (*2.5)
Swimming pool	6.0	3.0	1.0
Underground water tank	15	15	See Table 6
Bore or well	100	100	30 (chlorinated) (*30) 50 (unchlorinated) (*50)
Cutting	15	No restriction	See Table 6
Watercourse	50	30	See Table 6
Lake, swamp, etc	50	30	See Table 6
Watercourse from which water supplies extracted	200	100	30 (chlorinated) (*30) 50 (unchlorinated) (*50)
Water supply reservoir	200	100	See Table 6
Sub-surface disposal bed or trench	2.5	2.5	See Table 6
Septic tank	2.5	2.5	See Table 6
Rainwater tank			1.5 (*15)
driveway or paved surface			0.5
Open drain			3.0

## NOTE.

1. For flat sites use column 2
2. Refer to Section 8.9 for exceptions to setback distances from site features for Aerated Wastewater Treatment Systems.

### Appendix 3 Glossary

<p><b>Depth of Soil (cm)</b> (Isbell 2002)</p>	<table border="0"> <thead> <tr> <th><b>Class</b></th> <th><b>Depth (cm)</b></th> </tr> </thead> <tbody> <tr> <td>Very shallow:</td> <td>&lt; 0.25 m</td> </tr> <tr> <td>Shallow:</td> <td>0.25 - &lt; 0.5 m</td> </tr> <tr> <td>Moderate:</td> <td>0.5 - &lt; 1.0 m</td> </tr> <tr> <td>Deep:</td> <td>1.0 - &lt; 1.5 m</td> </tr> <tr> <td>Very deep:</td> <td>1.5 - 5 m</td> </tr> <tr> <td>Giant:</td> <td>&gt; 5 m</td> </tr> </tbody> </table>	<b>Class</b>	<b>Depth (cm)</b>	Very shallow:	< 0.25 m	Shallow:	0.25 - < 0.5 m	Moderate:	0.5 - < 1.0 m	Deep:	1.0 - < 1.5 m	Very deep:	1.5 - 5 m	Giant:	> 5 m
<b>Class</b>	<b>Depth (cm)</b>														
Very shallow:	< 0.25 m														
Shallow:	0.25 - < 0.5 m														
Moderate:	0.5 - < 1.0 m														
Deep:	1.0 - < 1.5 m														
Very deep:	1.5 - 5 m														
Giant:	> 5 m														
<p><b>Drainage</b> (NCST 2009:202)</p>	<p><i>Drainage</i> is a useful term to summarise local soil wetness conditions; that is, it provides a statement about soil and site drainage likely to occur in most years. It is affected by a number of attributes, both internal and external, that may act separately or together. Internal attributes include soil structure texture, porosity, hydraulic conductivity, and water-holding capacity, while external attributes are source and quality of water, evapotranspiration, gradient and length of slope, and position in the landscape</p>														
<p><b>Drainage Classes</b> (NCST 2009:202-204)</p>	<p><i>Very poorly drained</i> - water is removed from the soil so slowly that the water table remains at or near the surface for most of the year. Surface flow, groundwater and subsurface flow are major sources of water, although precipitation may be important where there is a perched water table and precipitation exceeds evapotranspiration. Soils have a wide range in texture and depth, and often occur in depressed sites. Strong gleying and accumulation of surface organic matter are usually features of most soils.</p> <p><i>Poorly drained</i> - water is removed very slowly in relation to supply. Subsurface and/or groundwater flow, as well as precipitation, may be a significant water source. Seasonal ponding, resulting from runoff and insufficient outfall, also occurs. A perched water table may be present. Soils have a wide range in texture and depth; many have horizons that are gleyed, mottled, or possess orange or rusty linings of root channels.. All horizons remain wet for periods of several months</p> <p><i>Imperfectly drained</i> - water is removed only slowly in relation to supply. Precipitation is the main source if available water storage capacity is high, but subsurface flow and/or groundwater contribute as available water storage capacity decreases. Soils have a wide range in texture and depth. Some horizons may be mottled and/or have orange or rusty linings of root channels, and are wet for periods of several weeks.</p> <p><i>Moderately well-drained</i> - water is removed from the soil somewhat slowly in relation to supply, due to low permeability, shallow water table, lack of gradient, or some combination of these. Significant additions of water by subsurface flow are necessary in coarse-textured soils. Some horizons may remain wet for as long as one week after water addition.</p> <p><i>Well- drained</i> - water is removed from the soil readily but not rapidly. Excess water flows downward readily into underlying, moderately permeable material or laterally as subsurface flow. Soils are often medium in texture.</p>														

	<p>Some horizons may remain wet for several days after water addition.</p> <p><i>Rapidly drained</i> - water is removed from the soil rapidly in relation to supply. Excess water flows downward rapidly if underlying material is highly permeable. There may be rapid subsurface lateral flow during heavy rainfall provided there is a steep gradient. Soils are usually coarse-textured, or shallow, or both. No horizon is normally wet for more than several hours after water addition.</p>
<p><b>Emerson Aggregate Test (Amended)</b> (Patterson 2013)</p>	<p>Amended Emerson Aggregate Test using distilled water</p> <p>Class 1 - Slaking with Complete Dispersion</p> <p>Class 2 – Slaking with Some Dispersion</p> <p>Slaking (Class 2)</p> <p>Class 2 Slake 1 – Slight slaking</p> <p>Class 2 Slake 2 – About half slaked</p> <p>Class 2 Slake 3 – Fully slaked</p> <p>Class 7 – Swelling, No Slaking</p> <p>Class 8 – No Swelling, No Slaking</p> <p><u>Note:</u> (Source: Patterson 2013)</p> <p>1. For wastewater management, soils are not physically disturbed (ploughed) therefore the remould component of Emmerson Test not relevant.</p> <p>2. Non-dispersive, slaking subsoil are not an issue for effluent disposal</p>
<p><b>Mottles</b> (Moore 2004)</p>	<p>Mottles can be seen as a pattern of spots or blotches of different colour interspersed within the dominant matrix soil colour. They are concentrations of iron oxides which have resulted from the redistribution of iron oxides due to alternating episodes of aerobic and anaerobic (ie oxidising and reducing) soil conditions common in seasonally waterlogged soils.</p>
<p><b>Perched water table</b> (AS/NZS 1547:2012:15)</p>	<p>Groundwater that has beneath it unsaturated soil material into which the groundwater drains</p> <p>NOTE: A perched water table is nearly always periodic or seasonal.</p>
<p><b>Secondary waste - water treatment</b> (AS/NZS 1547:2012:16)</p>	<p>Aerobic biological processing and settling or filtering of effluent received from a primary treatment unit</p>
<p><b>Waning</b> (AS/NZS 1547:2012:92)</p>	<p>(Land) Element up-slope is steeper; (land) element down-slope is gentler; thus water is progressively slowed down as it runs off, promoting soil wetness</p>
<p><b>Watercourse</b> (AS/NZS 1547:2012:18)</p>	<p>A stream that:</p> <p>(a) Has visible bed and banks, that is, an eroded channel no matter how small but not a defined non-eroded grassy course or drainage depression; and</p> <p>(b) Is partially fed with water from some source other than surface water run-off (for example, springs, snowfields, or spongy soil that absorbs rainfall and then releases it into the stream over a longer period)</p>

# Land Suitability Assessment: Lot 11 Hundred of Strangways (176a Bees Creek Road, Bees Creek)

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*Compiled by VPS Land Assessment and Planning*

*On behalf of*

*Justin Groves*

*April 2016*

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Surface and subsurface drainage conditions are created by natural processes and the activity of people. Site assessment identifies actual subsurface conditions only at those points where samples are taken and when they are taken. This Report is based on assumptions that the site conditions as revealed through selective sampling are indicative of conditions throughout the site. Data derived from literature and external data source review are interpreted to provide an opinion about overall site conditions and their likely impact on the proposed development. Actual conditions may differ from those inferred to exist and the actual interface between materials may be far more gradual or abrupt than assumed based on the facts obtained.

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Signed	
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**Acronyms**

Alternative Septic Treatment System	ASTS
Bureau of Meteorology	BOM
Building Advisory Services (DLPE)	BAS
Building Control Area	BCA
Department of Health	DoH
Department of Land Resource Management	DLRM
Department of Lands, Planning and the Environment	DLPE
Environmental Protection Agency	EPA
Land Capability Assessment	LCA
Land Suitability Assessment	LSA
NR Maps	Online data server managed by DLRM ( <a href="http://nrmaps.nt.gov.au">nrmaps.nt.gov.au</a> )
Power and Water Corporation	PWC
Water Resources	Water Resource Division within DLRM

## Executive Summary

VPS Land Assessment and Planning was commissioned to conduct a Land Suitability Assessment (LSA) of Lot 11 Hundred of Strangways (176a Bees Creek Road, Bees Creek) to assess the potential of the land for subdivision. The subject land is currently zoned RL – Rural Living. The focus of this work has been the field validation of the boundaries of constrained land and then to determine the extent and soil-landscape characteristics of the unconstrained land.

The environmental assessment of the subject land involved an initial desktop and subsequent field assessment undertaken in April 2016.

This land suitability assessment has found that Lot 11 has an overall area of 10.1ha and comprises approximately 9.1ha of land suitable for the purposes of rural subdivision. The water supply easement encloses approximately 1ha along the western boundary which was not assessed. The majority of unconstrained land comprises well drained, moderately deep to deep, gravelly Red and Brown Kandosols on gentle slopes up to 1%, with approximately 0.9ha in the southwest corner of the block comprising similar soils but slopes to 2%. No area of constrained land was identified.

In accordance with the *Land Suitability Guidelines* (NTG 2013) the majority of unconstrained land is Class S1 – Highly Suitable for rural living, with the area in the southwest corner Class S2 - Moderately Suitable due to slopes up to 2%.

There are minor constraints associated with erosion risk – some slopes up to 2%; and onsite wastewater management - due to the relatively high proportions of surface and subsoil gravels across the site. These can be addressed through erosion and sediment control (ESC) measures to account for the slope of the land; and, given the soils are moderately deep to deep, by the use of slightly larger effluent disposal areas, alternate land application and / or alternate treatment systems for wastewater treatment.

The threatened species *Cycas armstrongii* was scattered within the site. Liddle (2009) provides a range of options, including salvage, in relation to management of this species during the development process.

Weed management for Gamba grass (*Andropogon gayanus*) and *Hyptis* (*Hyptis suaveolens*) should be implemented in accordance with the Weed Management Act and guidelines provided by the NT Weeds Branch (see WMB 2014). Given the upland location of the unconstrained land the land is not affected by riverine flooding.

# 1. Introduction

VPS Land Assessment and Planning was commissioned to conduct a Land Suitability Assessment (LSA) of Lot 11 Hundred of Strangways (176a Bees Creek Road, Bees Creek) to assess the potential of the land for subdivision.

This report presents the results of the LSA. It provides an assessment of the issues and opportunities of the site in the context of the NT *Land Suitability Guidelines* (NTG 2013) and identifies other issues that may affect the suitability of the site for subdivision.

The *Land Suitability Guidelines* (NTG 2013) define land suitability as:

*The fitness of a given area for land utilisation type (or land use), or the degree to which it satisfies the land user.*

The *Guidelines* address seven land suitability categories. These categories are:

- Drainage
- On-site wastewater management
- Erosion risk
- Soil salinity
- Acid sulphate soils
- Storm tide flooding
- Riverine flooding.

These categories are then assigned *suitability classes* in accordance with Table 2 of the *Guidelines* following assessment of the *relevant* characteristics identified through a review of existing land information and field investigations. Suitability classes 1-2 are considered to be generally 'unconstrained', while suitability classes 3-5 are considered to varying degrees to be 'constrained'. Land classified as suitability class 3-5 (constrained) may prevent development from proceeding or require additional inputs in terms of design, planning and on-going management (NTG 2013).

Whilst a preliminary assessment in relation to onsite wastewater disposal is provided, a detailed *Land Capability Assessment* (LCA) for On-site Wastewater Management has not been undertaken.

## 2. Background

### 2.1. Site location

Lot 11 Hundred of Strangways is located in Bees Creek around 10kms southeast of Palmerston (Figure 1).

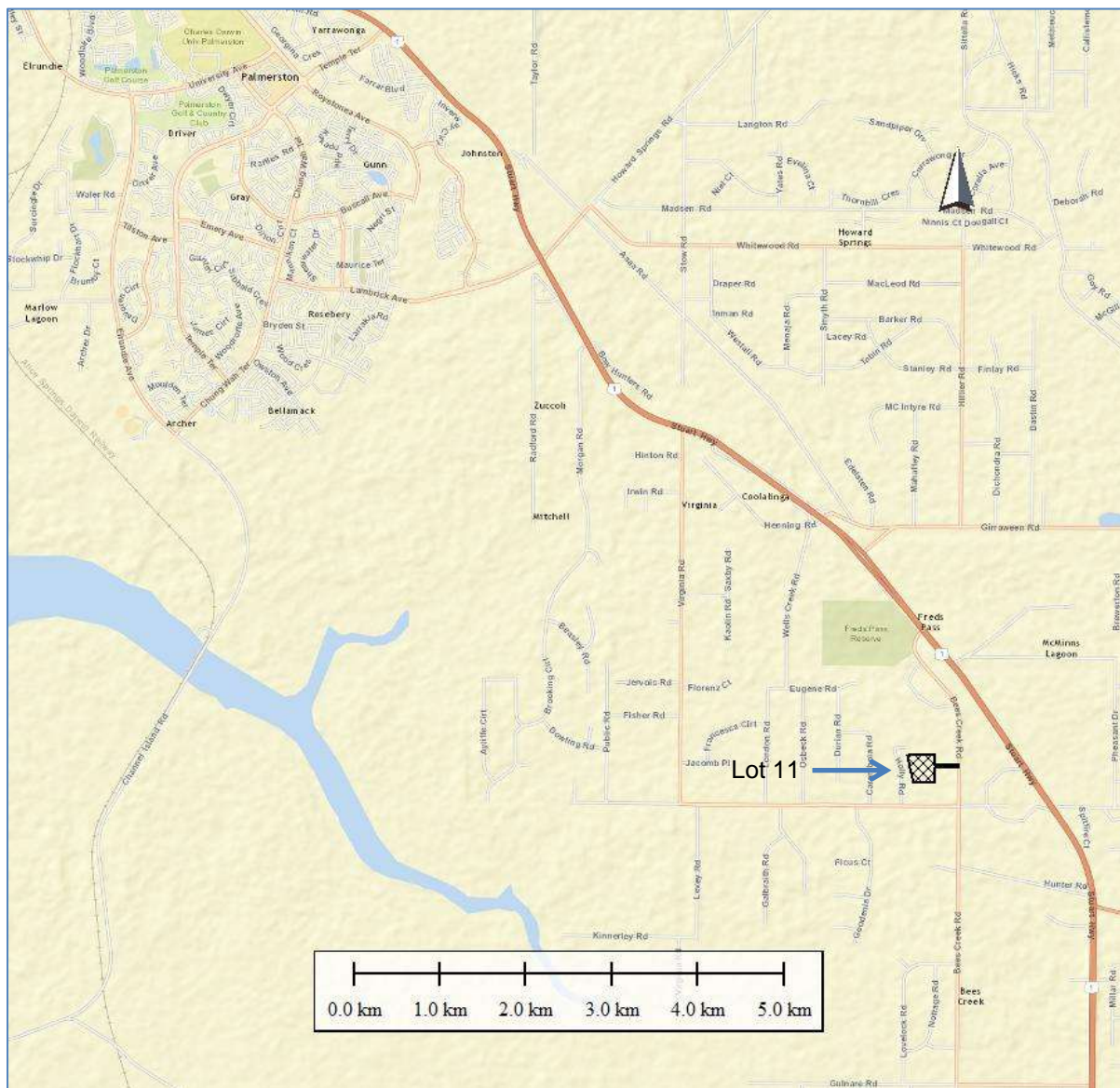


Figure 1: Location of Lot 11

### 2.2. Site Description

Lot 11 is currently zoned RL - ‘Rural Living’ and comprises an area of approximately 10.1ha including around 1ha within the water pipeline easement. It has an existing dwelling in the north of the block within a small area of clearing (~0.35ha) with the balance of the block under native vegetation with access to the block from Bees Creek Road via a 260m driveway (Figure 2).



Under the *NT Planning Scheme*:

- The primary purpose of land zoned RL (Rural Living) is to provide for a range of activities including residential, agricultural and other rural activities.
- Minimum lots sizes shall be 2ha (must all be zoned RL) with a minimum of 1ha of unconstrained land (contiguous with proposed unconstrained access)
- Larger lot sizes can be used facilitate the separation between potentially incompatible uses and restrict closer settlement
- Where there is no access to reticulated sewer it must be demonstrated that each lot will has adequate land suitable for onsite wastewater treatment and disposal.

**Table 1 Summary of development on Lot 11**

Council Area	Litchfield Shire
Planning Zone	RL - Rural Living
Allotment Sizes	Lot 11 comprises approximately 10.1ha (25acres) – 9.1 ha available Approximately 1ha is unavailable due to water supply easement along western boundary
Water supply	Lot 11 connected to reticulated water supply
Wastewater	Not connected to reticulated sewer network Onsite wastewater treatment and disposal required Existing dwelling utilises septic system
Water Control District	Darwin Rural - bore permits will only be required if any/all proposed lots are not connected to the reticulated water supply
Building Control Area	Yes

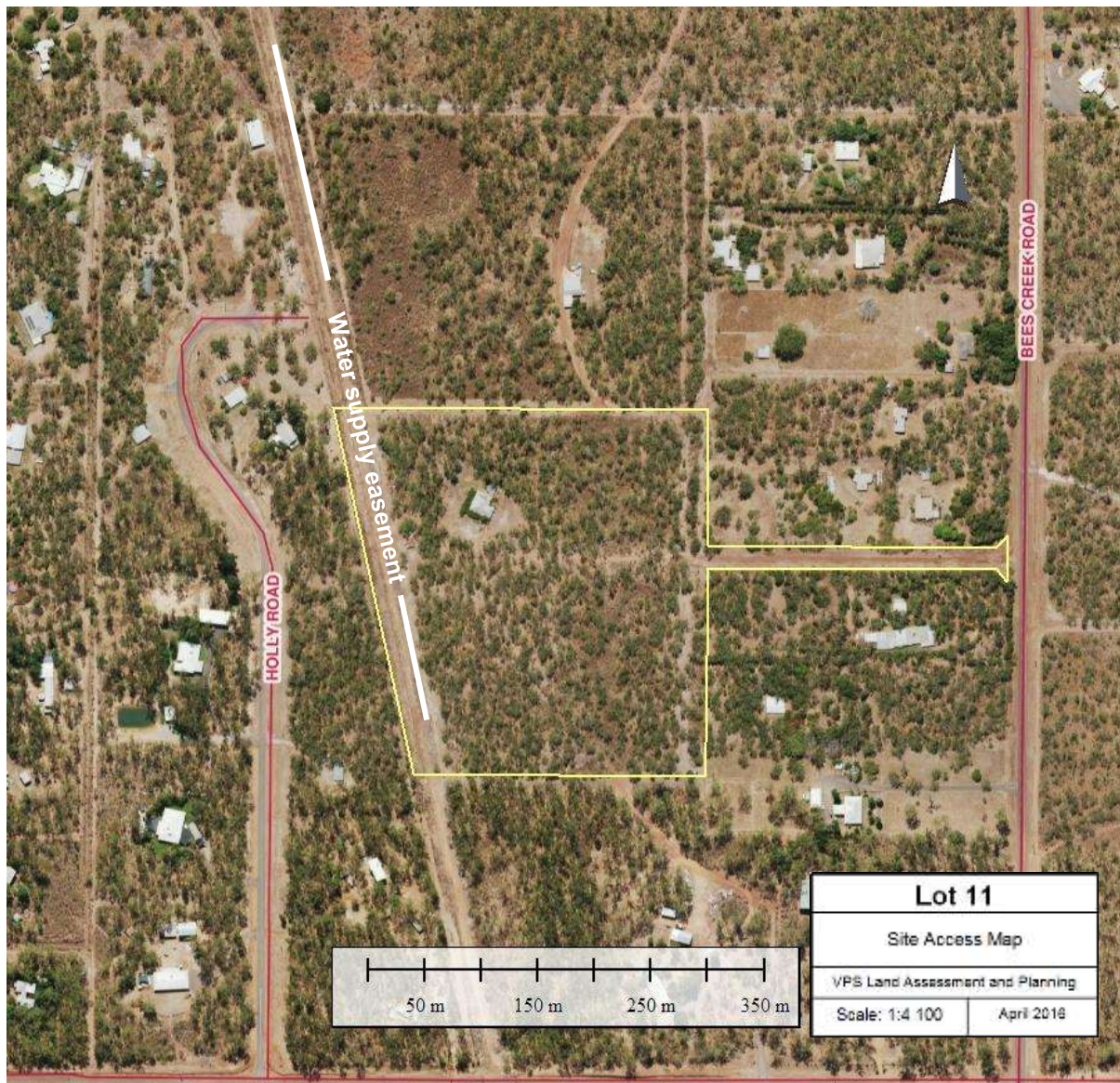


Figure 2 Location and access for Lot 11

## 3. Desktop Review

### 3.1. Climate

The Bees Creek area experiences a monsoonal climate with two broad seasons; the “Dry Season” during which little to no rainfall occurs between April and September and the “Wet Season” over summer during which maximum rainfall generally occurs between November and March. The nearest rainfall data is collected at Humpty Doo Collard Road (Station Number: 14226) (BOM 2016) and shown in Table 2. There is no site specific evaporation data available for this site however the BOM map of annual “Average pan evaporation 1975-2005” shows the Darwin region lies within an area that experiences 2000-2400mm average annual evaporation (which exceeds annual rainfall).

**Table 2 Humpty Doo Collard Road (14226) Monthly Rainfall 1987-2015 (BoM 2016)**

Statistic	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Mean	455	361	332	94	20.3	0.3	0.7	4.6	17.3	75	172	310	1855
Median	410	330	315	79.4	5.9	0	0	0.2	8.5	66	171	282	1831
Lowest	223	114	93	0.4	0	0	0	0	0	0	63	61	1381
Highest	846	837	686	501	113	2.2	12.6	95.6	110	222	301	895	2508

### 3.2. Land Resources

#### *Land Unit Mapping*

The Department of Land Resource Management (DLRM) has published land unit mapping over the subject land (Fogarty *et al* 1984) published at a scale of 1:25 000. At this scale, the smallest area feature shown on a printed map is 0.4cm<sup>2</sup> which represents around 2.5ha on the ground (McKenzie *et al* 2008). Land unit mapping is therefore not sufficiently detailed to identify soil-landscape features and characteristics (constraints) that are potentially important for intense land uses such as small lot subdivision. Furthermore, some published map unit boundaries and/or map unit descriptions may be inaccurate due to the historical mapping processes. According to Fogarty *et al* (1984), Lot 11 comprises land units 1c (rapidly drained) and 3b (well drained) with land unit 3b covering the majority of the site (Table 3 and Figure 3).



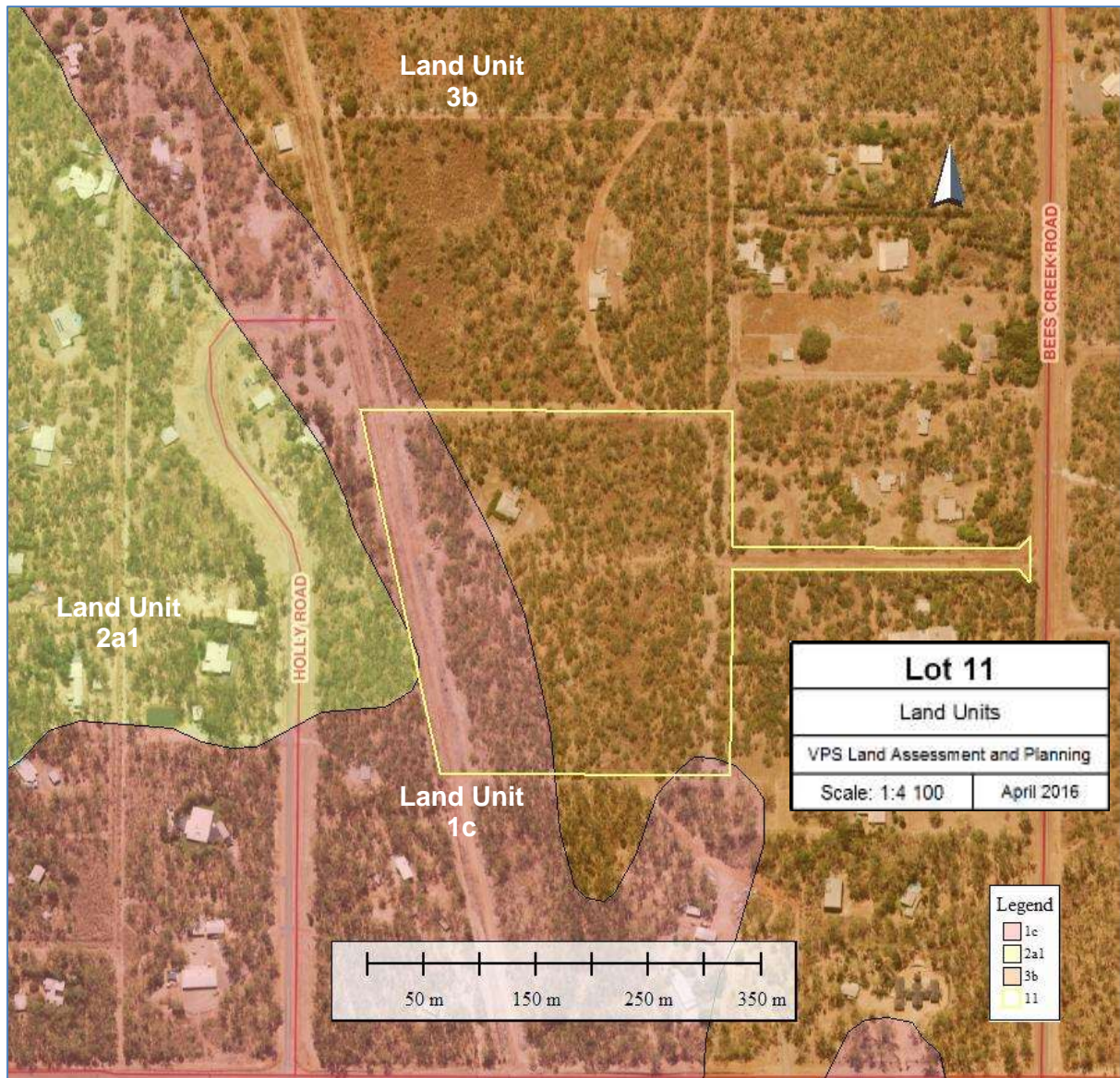


Figure 3 Land units across Lot 11 (mostly 3b)

**Table 3 Summary of land unit descriptions (after Fogarty et al 1984)**

Land Unit	Landform	Slope	Soils	Drainage	Vegetation
1c	Low scarps and short steep slopes Extensive outcrop and surface stone	5 - 20%	Shallow Gravelly Leptic Rudosols (Shallow gravelly Lithosols)	Rapid	Woodland; <i>Eucalyptus miniata</i> , <i>Corymbia bleeseri</i> with <i>E. tetradonta</i> , <i>E. tectifera</i> , <i>C. foelscheana</i> ; mid storey of <i>Xanthostemon paradoxus</i> , <i>Terminalia ferdinandiana</i> , <i>Buchanania obovata</i> , <i>Cycas armstrongii</i> , <i>Livistona humilis</i> ; grasses of <i>Sorghum plumosum</i> , <i>Eriachne avenacea</i> , <i>Chrysopogon latifolius</i> , <i>Heteropogon contortus</i> .
2a1	Rises and associated upper slopes	0.5 - 4%	Shallow Gravelly Leptic Rudosols with minor Moderately Deep Gravelly Brown Kandosols. (Shallow gravelly Lithosols with some moderately deep, gravelly, yellow earths.).	Well drained	Open Woodland, minor Woodland; <i>Eucalyptus miniata</i> , <i>E. tetradonta</i> , or <i>Corymbia foelscheana</i> , <i>C. confertifolia</i> , <i>E. tectifera</i> with <i>C. bleeseri</i> , <i>Erythrophleum chlorostachys</i> , <i>Xanthostemon paradoxus</i> ; mid storey of <i>Buchanania obovata</i> , <i>Grevillea decurrens</i> , <i>Calytrix exstipulata</i> , <i>Petalostigma quadriloculare</i> ; grasses of <i>Schizachyrium fragile</i> , <i>Chrysopogon latifolius</i> , <i>Heteropogon triticeus</i> , <i>Themeda triandra</i> , <i>Eragrostis sp.</i> , annual <i>Sorghum sp</i>
3b	Flat to very gently undulating upland surface	0.5 - 2.5%	Moderately Deep to Deep Gravelly Brown Kandosols, minor Red Kandosols. (Moderately deep to deep, gravelly, yellow earths, minor red earths) 10 - 30% ferruginous gravels.	Well drained	Woodland; <i>Eucalyptus miniata</i> , <i>E. tetradonta</i> with <i>Corymbia porrecta</i> , <i>C. foelscheana</i> , <i>C. confertiflora</i> , <i>Erythrophleum chlorostachys</i> ; mid storey of <i>Terminalia ferdinandiana</i> , <i>Xanthostemon paradoxus</i> , <i>Livistona humilis</i> , <i>Petalostigma pubescens</i> ; grasses of <i>Sorghum intrans</i> , <i>S. plumosum</i> , <i>Eriachne avenacea</i> , <i>Chrysopogon latifolius</i> , <i>Panicum mindanaense</i> .

### **3.3. Onsite Waste Water Risk**

Risk mapping for onsite wastewater disposal (DoH 2011) ranks land units in terms of *High*, *Moderate* and *Low Risk*. When expressed in terms of *land capability* (the capability of a site to support sustainable onsite wastewater disposal) the rankings relate to Low Capability, Moderate Capability and High Capability respectively. DoH (2011) rates Land unit 3b as *Moderate Risk* (Moderate Capability) and Land unit 1c as *High Risk* (Low capability) for onsite wastewater management due to soil depth, drainage and/or soil type.

### **3.4. Water Resources**

Lot 11 is serviced by a reticulated water supply and lies within the Darwin Rural Water Control District.

### **3.5. Riverine Flooding**

Areas at risk of riverine flood risk within the Elizabeth and Blackmore catchments have been mapped by Cardno (2014). This mapping shows that Lot 11 is well outside areas mapped as being at risk of riverine flooding and therefore not affected.

### **3.6. Acid Sulfate Soils**

Mapping by DLRM (Hill and Edmeades 2004) indicates that Lot 11 does not lie within areas affected by actual or potential acid sulfate soils.

### **3.7. Storm Tide Flooding**

Mapping by DLRM (2011) shows that Lot 11, being well inland from the coast, is not at risk from storm tide flooding.

### **3.8. Soil Salinity**

The subject land is not regarded as being at risk of soil salinity as the land is located in a moderate to high rainfall area. Salinity hazard mapping by Tickell and Tyson (1994) places Lot 11 within an area of *Low Risk* of soil salinity (Figure 4).



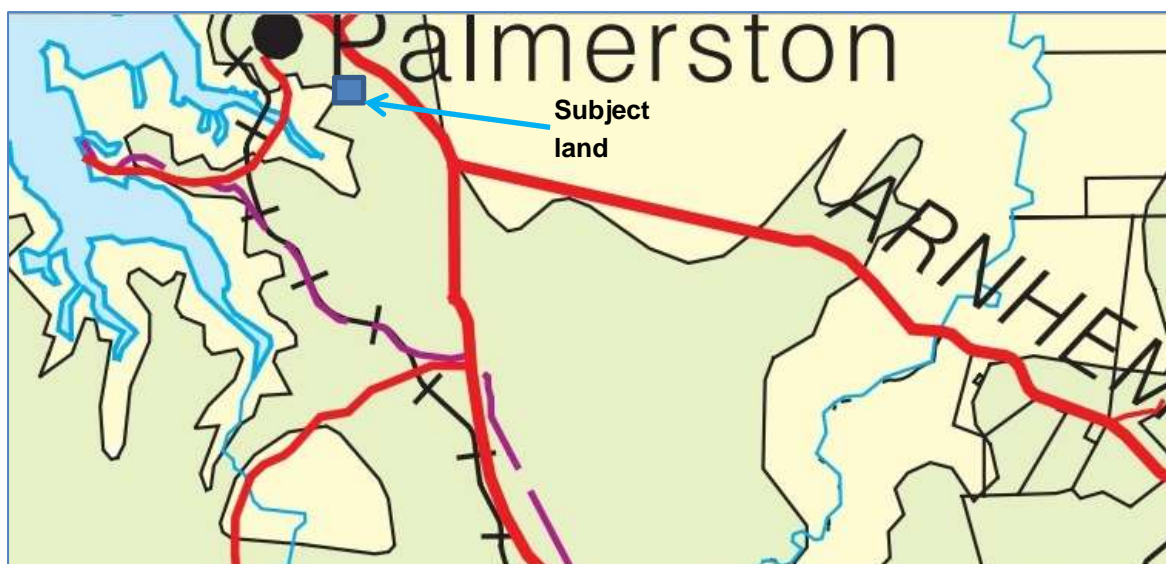


Figure 4 Location of Lot 11 in relation to Salinity Hazard Map of NT (1994)

### 3.9. Environmental Issues

Lot 11 does not lie within or near a Litchfield Shire Priority Environmental Management (PEM) Area.

An assessment of the potential threatened flora and fauna species that may occur within or nearby Lot 11 was undertaken. A search of the Protected Matters database identified threatened species listed under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) that could potentially be found within the property and surrounding areas, while a search of the NRM *InfoNet* was used to source information on species listed under the *Territory Parks and Wildlife Conservation Act* (TPWC Act). Data from NR Maps (DLRM 2016) shows that no threatened species have been recorded within the Lot 11 or on adjoining land (Figure 5).

Land unit data indicates that the threatened plant species *Cycas armstrongii* may occur within the project area.



**Figure 5 NR Maps shows no flora / fauna of Conservation Significance on Lot 11**

Based on existing records and a review of the habitat requirements of the territory and federally-listed threatened species, twelve (12) threatened species may exist in the project area. These species are listed in Table 4. While these species have been identified as potentially occurring within the property, targeted surveys have not been performed to validate this and there are no records of any listed species being recorded within 0.5km of Lot 11. The majority of the species identified through the threatened species assessment are not endemic to the region and are generally broad ranging in their distribution.

Of the bird species listed in Table 4, the Partridge Pigeon (*Geophaps smithii smithii*) and Red Goshawk (*Erythrotriorchis radiatus*) may occur within the project area. Very little is known about the distribution of the northern subspecies of Masked Owl (*Tyto novaehollandiae kimberli*) in the NT (Woinarski & Ward 2012a). The project area may constitute suitable habitat for the species, though its occurrence is likely restricted by a lack of mammalian prey due to fire and non-native predators (cats - *Felis catus*) in the area. No recent records of Gouldian Finch (*Erythrura gouldiae*) occur close to the project area.

For most of the mammals listed in Table 4, inappropriate fire regimes and habitat loss have been identified as key threatening processes. Brush-tailed Rabbit-rat (*Conilurus penicillatus*) and Black-footed Tree-rat (*Mesembriomys gouldii*) are likely impacted by frequent fires affecting habitat suitability, largely due to a reduction in the availability of food, and tree hollows (Hill 2012; Woinarski & Hill 2012). Habitat within the project area may not be particularly suitable for these species as the Black-footed Tree-rat requires a large home range; Lot 11 is bounded by small lots to the east and west, some of which have been

partially cleared, the water supply easement isolates the site to the west and Bees Creek Road isolates it from the east and many rural lots also have free running dogs. Invasion of Gamba Grass (*Andropogon gayanus*) will have affected some species and will exacerbate the impact of fires.

The arrival of Cane Toads (*Rhinella marina*) in the Top End has been linked with the decline of Northern Quoll (*Dasyurus hallucatus*), Northern Brush-tailed Phascogale (*Phascogale pirata*), Fawn antechinus (*Antechinus bellus*) and Plains Death Adder (*Acanthophis hawkei*) (Doody *et al.* 2009; Phillips *et al.* 2010; Woinarski & Ward 2012b). Lot 11 may contain potentially suitable habitat for these species; however, the likely presence of Cane Toads is likely to have significantly reduced the likelihood of their occurrence and habitat fragmentation from existing small lots and isolation caused by the water supply easement and major roads.

**Table 4 Threatened species that may occur within Lot 11**

Species	Common name	EPBC Status	TPWC Status
<b>Birds</b>			
<i>Erythrotriorchis radiates</i>	Red Goshawk	Vulnerable	Vulnerable
<i>Erythrura gouldiae</i>	Gouldian Finch	Endangered	Vulnerable
<i>Geophaps smithii smithii</i>	Partridge Pigeon (eastern)	Vulnerable	Vulnerable
<i>Rostatula australis</i>	Australian Painted Snipe	Endangered	-
<i>Tyto novaehollandiae kimberli</i>	Masked Owl (northern)	Vulnerable	Vulnerable
<b>Mammals</b>			
<i>Antechinus bellus</i>	Fawn Antechinus	Vulnerable	
<i>Conilurus penicillatus</i>	Brush-Tailed Rabbit-rat / Tree-rat	Vulnerable	Endangered
<i>Dasyurus hallucatus</i>	Northern Quoll	Endangered	Critically Endangered
<i>Mesembriomys gouldii</i>	Black-footed Tree-rat	Endangered	Vulnerable
<i>Phascogale pirata</i>	Northern Brush-tailed Phascogale	Vulnerable	Vulnerable
<i>Saccolaimus saccolaimus</i>	Bare-rumped Sheath-tail Bat	Critically Endangered	Data deficient
<b>Reptiles</b>			
<i>Acanthophis hawkei</i>	Plains Death Adder	Vulnerable	Vulnerable

Following this review, it is considered unlikely that any of the listed species would be located within Lot 11.

## 4. Field assessment

### 4.1. Overview

Field assessment was undertaken 6 April 2016. This involved traversing the area on foot with a hand held Garmin GPS Map 64S and included hand augering / digging holes and describing vegetation as required to assess soil / site characteristics and to validate land unit descriptions. The purpose of the field survey was to accurately delineate any areas of environmental constraints and map unconstrained land suitable for rural subdivision.

Due to the relative uniformity of the uncleared vegetation a detailed assessment was undertaken at only two sites (see Appendix 1). At several other locations across the block, holes were dug to confirm soil characteristics and dominant flora recorded to confirm the vegetation characteristics. No areas of constrained were identified during the field assessment, a finding which is consistent with land unit mapping.

Vegetation species in the dominant strata were used to describe vegetation types at a number of sites for the purpose of mapping.

No species listed in Table 4 were recorded during the field assessment.

### 4.2. Soil and Landscape Assessment

Filed assessment confirmed that Lot 11 comprises land generally consistent with land unit 3b. As previously discussed, land unit 3b comprises well drained, Moderately Deep to Deep, Gravelly Brown and Red Kandosols. Scattered surface rock was visible along the water pipe easement fence line along the western boundary. A small area of land comprising similar soils but slopes up to 2% was identified in the southwest corner of the block. A small, historical excavation approximately 5m wide x 40m was located on the southern boundary.

*Eucalyptus miniata* / *tetrodonta* woodland (as per land unit 3b) dominates the uncleared areas (Figure 6).

Leaf litter cover was extensive at the time of inspection and no areas of active erosion were identified. The Emerson Dispersion Test (See Appendix 1) showed that the surface soils were generally stable (neither slaking nor dispersive when wet); however, the subsoils were unstable in water (slaked) and may be susceptible to erosion if exposed.

*Cycas armstrongii* was found in low density across the block.

Patches of weeds Gamba Grass (*Andropogon gayanus*) and *Hyptis* (*Hyptis suaveolens*) were encountered across the site.



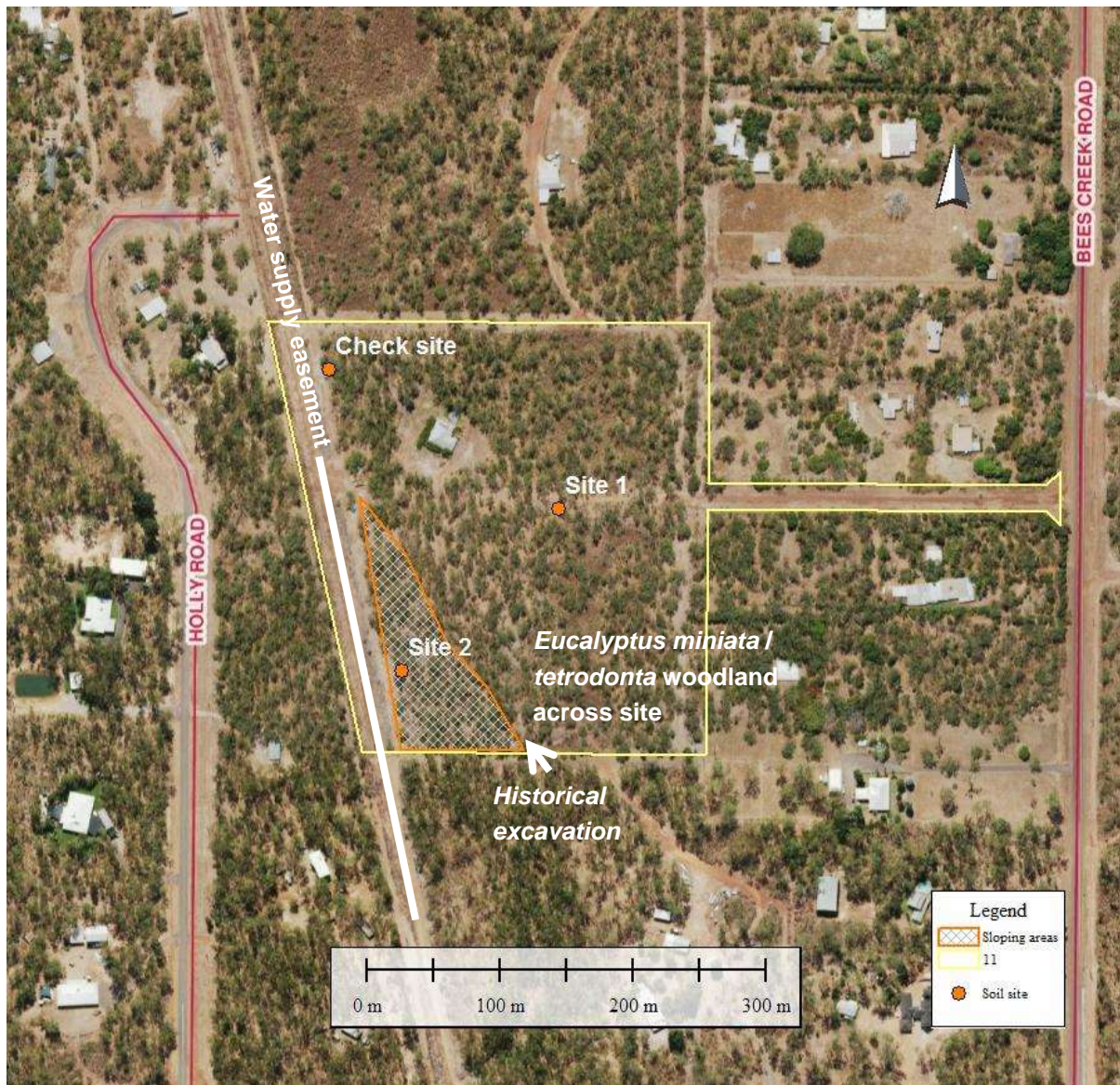


Figure 6 Soil sites and areas with slopes to 2%



## 5. Land Suitability Assessment

### 5.1. Drainage

The majority of site comprises Well drained, moderately deep to deep, gravelly Red and Brown Kandosols on low slopes up to 1%, with around 0.9ha on slopes up to 2%

### 5.2. On-site Wastewater Management

For onsite wastewater management, field inspection found that the land comprised Well drained, moderately deep to deep, gravelly Red and Brown Kandosols on slopes up to 2%. In accordance with Table 3.2 Assessment Framework for Unsewered Development for Subdivision Developments (DoH, 2014:pp 20) overall this land would be defined as *Moderate* to *Low Risk* (Moderate to High capability) for onsite wastewater disposal, suitable for septics using Standard Designs and Sizing Tables. There are no waterways, as defined in AS/NZS1547:2012, within the subject land.

There are a number of options available when site and/or soil characteristics limit the capability (*Low* or *Moderate*) of the land to achieve appropriate effluent treatment levels. These include increasing the size of the absorption / disposal area, using better quality imported fill or raised beds/mounds. Improving the quality of the effluent may also be considered by using Alternative Septic Treatment Systems (ASTS). See Appendix 2 for summary of other setbacks.

### 5.3. Erosion Risk

In this context, assessment of *erosion risk* is associated with the potential for accelerated erosion (above natural levels) associated with development of the land. Field assessment found that the majority of comprises slopes generally between 0.5% and 1% with a 0.9 ha area along southwestern boundary where slopes up to 2% were recorded. No areas of active erosion were identified within the block.

As per the Emerson Aggregate Test results for each soil site (Appendix 1), the surface soils were generally stable (neither slaking nor dispersive when wet) however subsoils slake when wet and may be erodible if disturbed and exposed.

According to the *Land Suitability Guidelines* (NTG 2013), land with slopes between 0.75% and 5% has a moderate to high potential for accelerated soil erosion by water. It is likely that the significant ground cover has contributed to the lack of active erosion and the landscape presents only a moderate risk of erosion by water.

### 5.4. Soil Salinity

The subject land has a low risk of soil salinity as per Tickell and Tyson (1994)

### 5.5. Acid Sulfate Soils

The subject land is not affected by acid sulfate soils as per Hill and Edmeades (2004)

### 5.6. Storm Tide Flooding

Mapping by DLRM (2011) shows the subject land is not affected by storm tide flooding.

### 5.7. Riverine Flooding

There is no evidence to suggest that Lot 11 is at risk from riverine flooding.

### 5.8. Environmental Assessment

The EPBC assessment indicated that Lot 11 could contain suitable habitat for the Brush-tailed Rabbit-rat (*Conilurus penicillatus*) and Black-footed Tree-rat (*Mesembriomys gouldii*). However, this is considered unlikely as the undisturbed patches of woodland in the area are disconnected / isolated by small lot subdivision, clearing and / or major roads / easements, many rural lots have free ranging dogs within fenced boundaries and, though fires do not appear to be frequent, the presence of Gamba Grass (*Andropogon gayanus*) will further exacerbate the impact of burning.

Scattered *Cycad armstrongii* were identified. The *NT Cycad Management Program* (Liddle 2009) offers a range of management options when developing land containing cycads including “salvage” – the recovery of live plants from areas being cleared for roads or development.

### 5.9. Weeds

Gamba Grass (*Andropogon gayanus*) and Hyptis (*Hyptis suaveolens*), Class B weeds (growth and spread to be controlled), were recorded during the field assessment.

The *NT Weeds Management Act* requires landholders and land managers to undertake and control weeds on their property. It is recommended that weed management be undertaken at the property, particularly during establishment of lot boundaries and other infrastructure, as vehicle movement and land clearing provide ideal conditions for weed spread.

Advice on weed management is available in the *NT Weed Management Handbook* and individual weed management plans which are available from <http://www.lrm.nt.gov.au/weeds> (WMB 2014).

## 5.10. Land Suitability

An assessment of environmental constraints and administrative requirements identified through an analysis of data used for the desktop review combined with field validated soil and landscape information was undertaken in accordance with requirements of relevant NT Government documents including:

- NT *Land Suitability Guidelines* (NTG 2013)
- NT *Planning Scheme*
- NT *Code of Practice for Small On-site Sewage and Sullage Treatment Systems and the Disposal or Reuse of Sewage Effluent* (DoH 2014a).

Based on the findings of the desktop review and site investigation, an assessment of the site was undertaken to determine land suitability classes and provide a summary of the issues for each land parcel. The suitability class ratings have been applied only to the land mapped as unconstrained (i.e. from a drainage perspective). Land mapped as constrained (i.e. poorly drained or seasonally inundated) has not been considered in the land suitability assessment.

Suitability classes can be improved through the use of engineering works and application of certain management practices. As per the Land Suitability Guidelines (NTG 2013) a lower land suitability rating “*does not necessarily prevent a land use from occurring, but in most situations indicates that additional inputs in terms of costs, design, planning and ongoing management could be required in order to adequately address social, economic and environmental risks.*”

Table 5 contains a summary of the land suitability assessment for Lot 11.

**Table 5 Land Suitability Assessment for Lot 11**

<b>Land Suitability Category</b>	<b>Lot 11 Assessment</b>	<b>Suitability Class</b>
<p><b>Drainage</b></p> <p>Constrained land comprises areas that are wet or saturated either at, above or close to the land surface for a period of weeks to months typically during the wet season but potentially extending into the dry season as a result of rainfall, landscape function and/or position or soil hydrology factors.</p>	<p>The lot comprises Well drained Red and Brown Kandosols (approximately 9.1ha)</p>	<p>S1 - Highly Suitable</p>
<p><b>Onsite Wastewater Management</b></p> <p>Constrained soil -landscapes have one or more of the following characteristics:</p> <ul style="list-style-type: none"> <li>- Slopes greater than 5 %</li> <li>- Imperfectly to very poorly drained</li> <li>- Contain minimal clay (20 %) at depth</li> <li>- Shallow soils (&lt;0.5m)</li> <li>- Extensive exposed rock (&gt;10 %)</li> <li>- Greater than 25 % gravel</li> </ul>	<p>Soil site assessed in relation to onsite wastewater management (Appendix 1). All sites were assessed as having “Moderate” capability (Moderate Risk) for onsite wastewater management. However, given the adequate soil depth across the site, use of slightly larger effluent disposal areas to increase the volume of receiving soil will adequately mitigate the subsoil gravel issue meaning the site can highly suitable.</p> <p>A range of other options is available to achieve appropriate effluent treatment and disposal on land where site and/or soil characteristics limit the capability to <i>Low</i> or <i>Moderate</i>. These include using better quality imported fill or using raised beds/mounds.</p>	<p>S1 - Highly Suitable</p>
<p><b>Erosion Risk</b></p> <p>Constrained land comprises soil landscapes that have a moderate to very high erosion risk (Suitability Classes 3-5).</p> <p>S3 - slopes 0.75-5%</p> <p>S4/S5 – slopes &gt;5%</p>	<p>Majority of land slopes recorded were &lt;1%– Moderate erosion risk on slopes 0.75 – 1%. Small area (~0.9ha) of slopes to 2%. No active erosion identified.</p> <p>Emerson Aggregate Test results show that surface soils area stable when wet (neither slaking nor dispersive). Subsoils showed minor slake when wet and may be susceptible to erosion when exposed.</p> <p>A range of physical and management options for erosion and sediment control are available for use in the development of this land.</p>	<p>S1 – S2 Moderately to Highly Suitable</p>
<p><b>Soil Salinity</b></p> <p>Land is constrained if soil salinity &gt;4 dS/m ECe</p>	<p>Field measurements indicate very low soil ECe. Salinity hazard mapping by Tickell and Tyson (1994) places Lot 11 within an area of Low Risk of soil salinity.</p>	<p>S1 - Highly Suitable</p>
<p><b>Acid Sulphate soils</b></p> <p>Land is constrained if soils contain greater than 0.02 % oxidisable sulphur</p>	<p>Mapping by Hill and Edmeades (2004) shows that the land is not affected by acid sulfate soils.</p>	<p>S1 - Highly Suitable</p>
<p><b>Storm tide flooding</b></p> <p>Coastal areas at elevations below the Primary (100 year Annual Recurrence Interval (ARI) Storm Tide inundation extent are constrained</p>	<p>Mapping by DLRM (2011) shows that Lot 11 is not affected by storm tide flooding.</p>	<p>S1 - Highly Suitable</p>
<p><b>Riverine Flooding</b></p> <p>Land is constrained if it is below the 1% Annual Exceedance Probability (AEP) flood level.</p>	<p>Lot 11 is not affected by riverine flooding.</p>	<p>S1 - Highly Suitable</p>

## 6. Conclusion

This land suitability assessment has found that Lot 11 is around 9.1 ha (the 1ha within the water supply easement was excluded from assessment). The unconstrained land comprises approximately 8.2ha classed as *S1 – Highly Suitable* for subdivision and an area of 0.9ha classed as *S2- Moderately Suitable* due to land slopes to 2%. No area of constrained land was identified

There are minor constraints associated with erosion risk – some slopes up to 2%; and onsite wastewater management - due to the relatively high proportions of surface and subsoil gravels across the site. These can be addressed through erosion and sediment control (ESC) measures to account for the slope of the land; and with the soil across the site being moderately deep to deep, the use of slightly larger effluent disposal areas, alternate land application and / or alternate treatment systems for wastewater treatment would effectively mitigate these minor issues.

A Weed management plan may be required in accordance with the Weed Management Act and guidelines provided by the NT Weeds Branch (see WMB 2014). An erosion and sediment control plan (ESCP) for subdivision may be required.

Scattered *Cycad armstrongii* were identified within Lot 11. The *NT Cycad Management Program* (Liddle 2009) offers a range of management options when developing land containing cycads including “salvage” – the recovery of live plants from areas being cleared for roads or development.



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## 8. Appendices

### Appendix 1 Soil Assessment

#### Soil and site descriptions

At all sites, the soil and landscape were described in accordance with the *Australian Soil and Land Survey Field Handbook – Third Edition* (NCST 2009) and *The Australian Soil Classification – Revised Edition* (Isbell 2002).

#### Land Capability for Onsite Wastewater Management:

A detailed *Land Capability Assessment* (LCA) has not been undertaken for Lot 11

To address the basic requirement of *Northern Territory Land Suitability Guidelines* (NTG 2013) all described soils are assessed in relation to the capability of the land at that site to support onsite wastewater management. For each described soil, the site is assessed and rated with reference to Table 3.7 '*Land Capability Rating Matrix*' from DoH (2014b:32-34). This matrix is used to assess the soil and site characteristics and provide an overall rating for the site in its natural or current condition with respect to its capability to support onsite wastewater management.

Land capability ratings in this table DO NOT take into consideration factors that can improve site capability such as wastewater treatment system selection (eg installing an AWTS in place of traditional septic), modifications to design / installation or a combination. Consideration of these and other factors would be included in a detailed LCA.

The overall rating for each soil site is generally determined by the most limiting rating for a feature.

**High Capability** (Low Risk) means the site is has a very good or high potential (low constraints) for effluent management.

**Moderate Capability** (Moderate Risk) means the site has features (constraints) which impose some limitations for effluent disposal but these constraints can be managed.

**Low capability** (High Risk) means the site is not well suited for effluent disposal and advanced treatment and land application systems will need to be employed to overcome limitations.

For wastewater (effluent) land application, field texture is used to determine the Soil Texture Class of the receiving soil (DoH 2014a). For this report, the depth of the nominal receiving soil layer has been set at 0.6m. Therefore, regardless of the soil classification (eg Tenosol,

Kandosol etc), the soil layer with the heaviest field texture (ie highest clay content and likely most restrictive layer) within the top 0.6m of the soil profile is used to assign indicative Soil Texture Class. For soils shallower than 0.6m the heaviest or deepest layer within the soil profile is used.

Table below shows the *Soil Texture Class* and equivalent *Soil Category* based on field texture.

<b>Soil Texture Class Code of Practice (DoH 2014a:32)</b>	<b>Equivalent Soil Category (AS/ANZS1547:2012)</b>	<b>Soil field textures per Class / Category (based on NCST 2009)</b>
Sand	1	Sand
Sandy Loam	2	Loamy sand, Clayey sand, Sandy loam
Loam	3	Loam, Silty loam
Clay Loam	4	Sandy clay loam, Clay loam, Clay loam (Sandy), Silty clay loam
Silty Clay	5	Light clay, Light medium clay
Clay	6	Medium clay to Heavy Clay

### **Soil Drainage and Wastewater treatment**

As per NCST (2009:204), in soils that are *Rapidly Drained* “...*Excess water flows downward rapidly if underlying material is highly permeable There may be rapid subsurface lateral flow during heavy rainfall provided there is a steep gradient. Soils are usually coarse-textured, or shallow, or both.*”

As such, *Rapidly drained* land has *Low Capability* for onsite wastewater due to high potential for offsite transport of pathogens and/or organic contaminants. This limitation can be addressed through wastewater treatment system selection, modifications to design / installation or a combination

**Site 1 – Moderately Deep, Very Gravelly, Red Kandosol (Gravelly Red Earth)**

<b>Slope:</b> 0.5%	<b>Stopped by:</b> Lack of auger		<b>Drainage:</b> Well		
<b>Landform:</b> Plain	<b>Surface water (m):</b> >50m		<b>Dry Surface colour:</b> 10YR 6/3 Pale Brown		
<b>Erosion:</b> Nil active	<b>Surface gravel (%):</b> 40%		<b>Surface:</b> Brown termitaria,		
<b>Runoff:</b> Slow	<b>Rock outcrop:</b> nil				
<b>Vegetation:</b> <i>Eucalyptus miniata</i> , <i>Eucalyptus tetradonta</i> , <i>Acacia auriculiformis</i> , <i>Alphitonia excelsa</i> , <i>Calytrix exstipulata</i> , <i>Planchonia careya</i> , <i>Ficus scobina</i> , <i>Livistona humilis</i> , <i>Buchanania obovata</i> , <i>Cycas armstrongii</i> , <i>Syzygium eucalyptoides</i> – bleeseri, - grasses mown					
<b>Soil Horizon (Level)</b>	<b>A11 (1)</b>	<b>A3 (2)</b>	<b>B1 (3)</b>	<b>B21 (4)</b>	<b>B22 (5)</b>
<b>Depth (cm)</b>	0 – 8	8 - 20	20 - 35	35 - 60	60 - 90 <sup>+</sup>
<b>Boundary</b>	Clear	Gradual	Diffuse	Diffuse	
<b>Field Texture</b>	Sandy loam (Fine sand)	Sandy loam - Heavy (Fine sand)	Sandy loam - Heavy (Fine sand)	Sandy clay loam	Light Clay
<b>Structure</b>	Massive earthy	Massive earthy	Massive earthy	Massive earthy	Massive earthy
<b>pH (1:5 H<sub>2</sub>O)</b>	6.3	6.0	6.0	6.0	5.9
<b>EC dS (1:5 H<sub>2</sub>O)</b>	0.011	0.012	0.007	0.008	0.010
<b>Dominant Colour</b>	10YR 4/3 Brown	10YR 4/3 Brown	7.5YR 4/6 Strong Brown	5YR 4/6 Yellowish Red	5YR 5/6 Yellowish Red
<b>Mottles</b>	-	-	-	-	-
<b>Emerson</b>	8	8	2 (Slaking 2)	2 (Slaking 3)	2 (Slaking 3)
<b>Coarse Frags (%)</b>	40	40	35	60	70
<b>Wastewater - Soil Category</b>				4 – Clay loam	

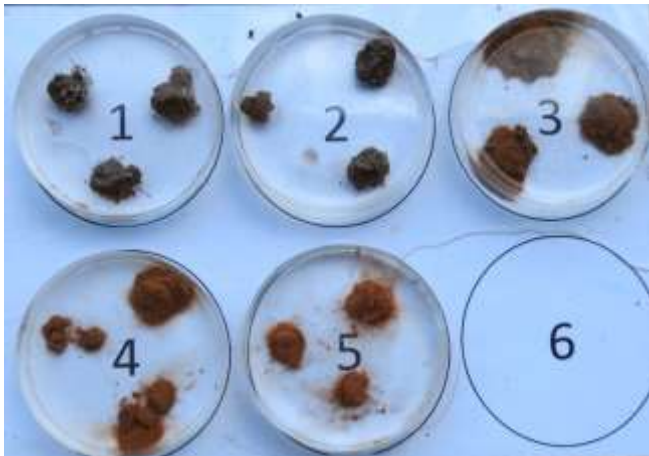




Site 1 Soil surface



Sieved soils



Emerson Test

### Site 1 – Background Land Capability Assessment Matrix for On-site Wastewater Management from NT LCA Guidelines Table 3.7 (DoH 2014b:33-34)

This matrix is used to assess the soil and site characteristics and provide an overall rating for the site in its natural or current condition with respect to its capability to support onsite wastewater management.

Land capability ratings in this table do not take into consideration factors that can improve site capability

Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Site Characteristics</b>				
<b>Drainage Class (NCST 2009)</b>	Moderately Well to Well drained	Imperfectly drained	Rapidly drained or poorly to Very poorly drained	<b>High</b>
<b>Runoff</b>	None or low	Moderate to high, need for diversionary structures	High to very high – diversion not practical	<b>High</b>
<b>Flood risk</b>	Never or <1 in 100	>1 in 100 and <1 in 20	<1 in 20	<b>High</b>
<b>Proximity to watercourses</b>	>50 m non-potable; >100 m potable	n/a	<50 m for non-potable; <100 m potable	<b>High</b>
<b>Slope</b>	<5%	5-10%	>10%	<b>High</b>
<b>Landslip</b>	Zero actual, or low potential for failure	Moderate to high potential for failure	Present or past failure	<b>High</b>
<b>Surface gravel (spatial cover)</b>	<20%	25-50%	>50%	<b>Moderate</b>
<b>Rock outcrop (spatial cover)</b>	<10%	10-20%	>20%	<b>High</b>
<b>Erosion potential</b>	Zero or minor erosion potential	Moderate to high erosion potential	High to severe erosion potential	<b>High</b>
<b>Exposure</b>	High sun and wind exposure	Moderate sun and wind exposure	Low sun and wind exposure	<b>Moderate</b>
<b>Landform</b>	Hill crests, convex side slopes and plains	Concave sideslopes and footslopes	Floodplains and incised channels	<b>High</b>
<b>Vegetation Type</b>	Turf or pasture	Shrubs or open woodland	Dense forest with little understorey	<b>Moderate</b>
<b>Average Rainfall</b>	<800 mm/year	800 - 1400 mm/year	>1400 mm/year	<b>Low</b>
<b>Pan Evaporation</b>	>1400 mm/year	800 - 1400 mm/year	<800 mm/year	<b>High</b>

Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Soil Characteristics</b>				
<b>Fill</b>	No fill; or fill good quality	Some fill; or fill moderate quality	Extensive fill, or fill poor quality	<b>High</b>
<b>Soil category * (AS1547:2013)</b>	2 and 3	4 and 5	1 and 6	<b>Moderate</b>
<b>Profile depth</b>	>0.5 m	0.25-5 m	>0.25 m	<b>High</b>
<b>Presence of mottling</b>	None	Moderate	Extensive	<b>High</b>
<b>Coarse fragments</b>	<20%	20-40%	>40%	<b>Low</b>
<b>pH</b>	6-8	4.5 - 6	<4.5, >8	<b>High</b>
<b>Emerson + Aggregate Class</b>	4,6,8	2,3,5,7	1	<b>Moderate</b>
<b>Electrical Conductivity (ECe)</b>	<0.8 dS/m	0.8-4 dS/m	>4 dS/m	<b>High</b>
<b>Sodicity ESP %</b>	<6%	6-14%	>14%	<b>High</b>
<b>SITE RATING</b>				<b>Moderate</b>

\* Soil Category taken from the soil layer at a depth of 60cm or the deepest layer in shallower soil within the soil profile

+ Emerson Aggregate Class taken from the layer within the receiving soil 60cm below the soil surface or the deepest layer in shallower soil



**Site 2 – Moderately Deep, Very Gravelly, Red Kandosol (Gravelly Red Earth)**

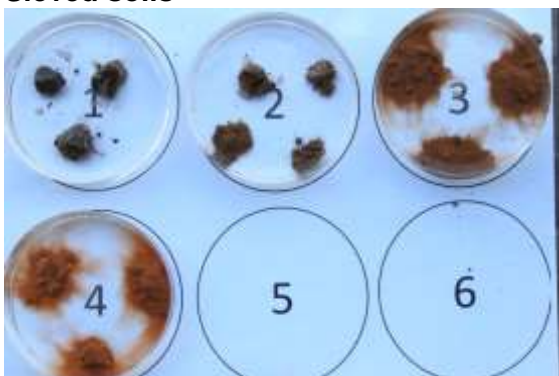
<b>Slope:</b> 2%	<b>Stopped by:</b> Nil		<b>Drainage:</b> Well	
<b>Landform:</b> Plain	<b>Surface water (m):</b> >50m		<b>Dry Surface colour:</b> 10YR 6/2 Light Brownish Gray	
<b>Erosion:</b> Nil active	<b>Surface gravel (%):</b> 40%		<b>Surface:</b> Brown termitaria,	
<b>Runoff:</b> Slow	<b>Rock outcrop:</b> 1%			
<b>Vegetation:</b> <i>Eucalyptus miniata</i> , <i>Eucalyptus tetradonta</i> , <i>Planchonia careya</i> , <i>Cochlospermum fraseri</i> , <i>Calytrix exstipulata</i> , <i>Livistona humilis</i> , <i>Buchanania obovata</i> , <i>Cycas armstrongii</i>				
<b>Soil Horizon (Level)</b>	<b>A11 (1)</b>	<b>A12 (2)</b>	<b>B1 (3)</b>	<b>B21 (4)</b>
<b>Depth (cm)</b>	0 – 8	8 - 25	25 - 50	50 – 60+
<b>Boundary</b>	Clear	Gradual	Diffuse	
<b>Field Texture</b>	Loam sand	Clayey sand	Sandy loam - (Fine sand)	Sandy clay loam
<b>Structure</b>	Massive earthy	Massive earthy	Massive earthy	Massive earthy
<b>pH (1:5 H<sub>2</sub>O)</b>	6.3	6.2	6.0	6.0
<b>EC dS (1:5 H<sub>2</sub>O)</b>	0.015	0.006	0.006	0.005
<b>Dominant Colour</b>	10YR 4/2 Dark Grayish Brown	10YR 4/4 Dark Yellowish Brown	7.5YR 4/6 Strong Brown	5YR 5/6 Yellowish Red
<b>Mottles</b>	-	-	-	-
<b>Emerson</b>	8	2 (Slaking 1)	2 (Slaking 3)	2 (Slaking 3)
<b>Coarse Frags (%)</b>	40	40	35	60
<b>Wastewater - Soil Category</b>				4 – Clay loam



Site 1 Soil surface



Sieved soils



Emerson Test



### Site 2 – Background Land Capability Assessment Matrix for On-site Wastewater Management from NT LCA Guidelines Table 3.7 (DoH 2014b:33-34)

This matrix is used to assess the soil and site characteristics and provide an overall rating for the site in its natural or current condition with respect to its capability to support onsite wastewater management.

Land capability ratings in this table do not take into consideration factors that can improve site capability

Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Site Characteristics</b>				
<b>Drainage Class (NCST 2009)</b>	Moderately Well to Well drained	Imperfectly drained	Rapidly drained or poorly to Very poorly drained	<b>High</b>
<b>Runoff</b>	None or low	Moderate to high, need for diversionary structures	High to very high – diversion not practical	<b>High</b>
<b>Flood risk</b>	Never or <1 in 100	>1 in 100 and <1 in 20	<1 in 20	<b>High</b>
<b>Proximity to watercourses</b>	>50 m non-potable; >100 m potable	n/a	<50 m for non-potable; <100 m potable	<b>High</b>
<b>Slope</b>	<5%	5-10%	>10%	<b>High</b>
<b>Landslip</b>	Zero actual, or low potential for failure	Moderate to high potential for failure	Present or past failure	<b>High</b>
<b>Surface gravel (spatial cover)</b>	<20%	25-50%	>50%	<b>Moderate</b>
<b>Rock outcrop (spatial cover)</b>	<10%	10-20%	>20%	<b>High</b>
<b>Erosion potential</b>	Zero or minor erosion potential	Moderate to high erosion potential	High to severe erosion potential	<b>Moderate</b>
<b>Exposure</b>	High sun and wind exposure	Moderate sun and wind exposure	Low sun and wind exposure	<b>Moderate</b>
<b>Landform</b>	Hill crests, convex side slopes and plains	Concave sideslopes and footslopes	Floodplains and incised channels	<b>High</b>
<b>Vegetation Type</b>	Turf or pasture	Shrubs or open woodland	Dense forest with little understorey	<b>Moderate</b>
<b>Average Rainfall</b>	<800 mm/year	800 - 1400 mm/year	>1400 mm/year	<b>Low</b>
<b>Pan Evaporation</b>	>1400 mm/year	800 - 1400 mm/year	<800 mm/year	<b>High</b>



Land Features	Land Capability Class Rating			Rating
	High	Moderate	Low	
<b>Soil Characteristics</b>				
<b>Fill</b>	No fill; or fill good quality	Some fill; or fill moderate quality	Extensive fill, or fill poor quality	<b>High</b>
<b>Soil category * (AS1547:2013)</b>	2 and 3	4 and 5	1 and 6	<b>Moderate</b>
<b>Profile depth</b>	>0.5 m	0.25-5 m	>0.25 m	<b>High</b>
<b>Presence of mottling</b>	None	Moderate	Extensive	<b>High</b>
<b>Coarse fragments</b>	<20%	20-40%	>40%	<b>Low</b>
<b>pH</b>	6-8	4.5 - 6	<4.5, >8	<b>High</b>
<b>Emerson + Aggregate Class</b>	4,6,8	2,3,5,7	1	<b>Moderate</b>
<b>Electrical Conductivity (ECe)</b>	<0.8 dS/m	0.8-4 dS/m	>4 dS/m	<b>High</b>
<b>Sodicity ESP %</b>	<6%	6-14%	>14%	<b>High</b>
<b>SITE RATING</b>				<b>Moderate</b>

\* Soil Category taken from the soil layer at a depth of 60cm or the deepest layer in shallower soil within the soil profile

+ Emerson Aggregate Class taken from the layer within the receiving soil 60cm below the soil surface or the deepest layer in shallower soil

**Confirmation Site 3 – Moderately deep, Gravelly Brown Kandosol (Gravelly Yellow Earth)**



<b>Slope:</b> 0.5%	<b>Depth:</b> 0.5m+	<b>Drainage:</b> Well drained
<b>Surface gravel (%):</b> 60%	<b>Erosion:</b> Nil active	<b>Rock outcrop:</b> nil
<b>Vegetation:</b> <i>Eucalyptus miniata</i> , <i>Eucalyptus tetradonta</i> , <i>Planchonia careya</i> , <i>Calytrix exstipulata</i> , <i>Livistona humilis</i> , <i>Buchanania obovata</i> ,		



**Site 2 Soil surface**

## Appendix 2 Summary of setbacks relating to onsite wastewater disposal

### DoH. 2014. Code of Practice for Small On-site Sewage and Sullage Treatment Systems and the Disposal or Reuse of Sewage Effluent

7.5 Proximity of Septic Tank and Disposal Area to Site Features (page 34)		8.9 Siting and Setback Distances (m) for Aerated Wastewater Treatment Systems (page 76)	
Table 6 Setback Distances to Surface Feature	Minimum distance required in metres (m) from the closest point of effluent discharge to that site feature		8.9.3 Sub Strata/ Shallow Sub Surface Irrigation
Site Feature	1. Upslope from site feature	2. Downslope from site feature	(* 8.9.2 Surface Irrigation)
Building	6.0	3.0	1.5
Allotment boundary	4.5	2.5	0.5 (*2.5)
Swimming pool	6.0	3.0	1.0
Underground water tank	15	15	See Table 6
Bore or well	100	100	30 (chlorinated) (*30) 50 (unchlorinated) (*50)
Cutting	15	No restriction	See Table 6
Watercourse	50	30	See Table 6
Lake, swamp, etc	50	30	See Table 6
Watercourse from which water supplies extracted	200	100	30 (chlorinated) (*30) 50 (unchlorinated) (*50)
Water supply reservoir	200	100	See Table 6
Sub-surface disposal bed or trench	2.5	2.5	See Table 6
Septic tank	2.5	2.5	See Table 6
Rainwater tank			1.5 (*15)
driveway or paved surface			0.5
Open drain			3.0

#### NOTE.

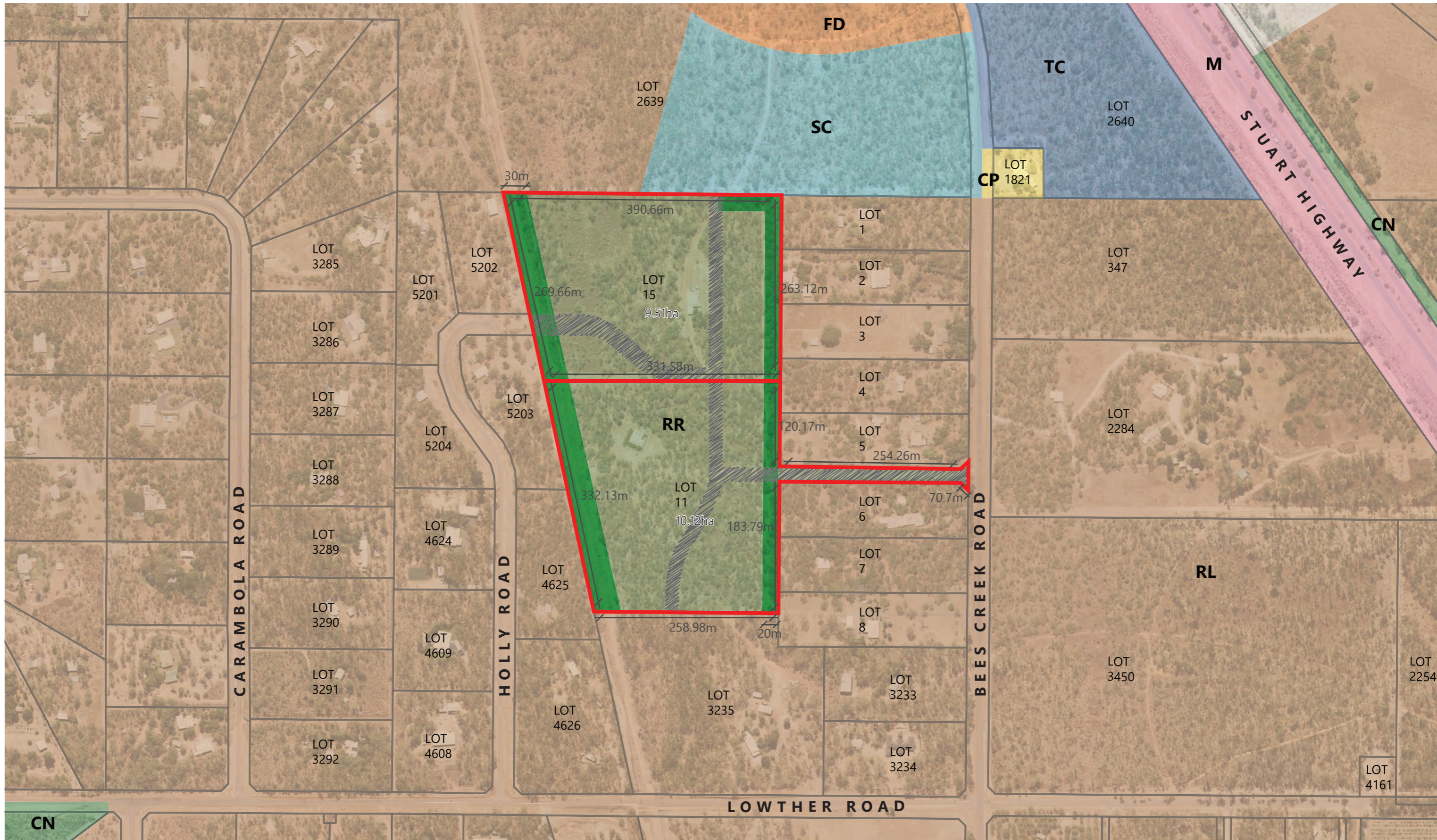
1. For flat sites use column 2
2. Refer to Section 8.9 for exceptions to setback distances from site features for Aerated Wastewater Treatment Systems.

### Appendix 3 Glossary

<p><b>Depth of Soil (cm)</b> (Isbell 2002)</p>	<table border="1"> <thead> <tr> <th>Class</th> <th>Depth (cm)</th> </tr> </thead> <tbody> <tr> <td>Very shallow:</td> <td>&lt; 0.25 m</td> </tr> <tr> <td>Shallow:</td> <td>0.25 - &lt; 0.5 m</td> </tr> <tr> <td>Moderate:</td> <td>0.5 - &lt; 1.0 m</td> </tr> <tr> <td>Deep:</td> <td>1.0 - &lt; 1.5 m</td> </tr> <tr> <td>Very deep:</td> <td>1.5 - 5 m</td> </tr> <tr> <td>Giant:</td> <td>&gt; 5 m</td> </tr> </tbody> </table>	Class	Depth (cm)	Very shallow:	< 0.25 m	Shallow:	0.25 - < 0.5 m	Moderate:	0.5 - < 1.0 m	Deep:	1.0 - < 1.5 m	Very deep:	1.5 - 5 m	Giant:	> 5 m
Class	Depth (cm)														
Very shallow:	< 0.25 m														
Shallow:	0.25 - < 0.5 m														
Moderate:	0.5 - < 1.0 m														
Deep:	1.0 - < 1.5 m														
Very deep:	1.5 - 5 m														
Giant:	> 5 m														
<p><b>Drainage</b> (NCST 2009:202)</p>	<p><i>Drainage</i> is a useful term to summarise local soil wetness conditions; that is, it provides a statement about soil and site drainage likely to occur in most years. It is affected by a number of attributes, both internal and external, that may act separately or together. Internal attributes include soil structure texture, porosity, hydraulic conductivity, and water-holding capacity, while external attributes are source and quality of water, evapotranspiration, gradient and length of slope, and position in the landscape</p>														
<p><b>Drainage Classes</b> (NCST 2009:202-204)</p>	<p><i>Very poorly drained</i> - water is removed from the soil so slowly that the water table remains at or near the surface for most of the year. Surface flow, groundwater and subsurface flow are major sources of water, although precipitation may be important where there is a perched water table and precipitation exceeds evapotranspiration. Soils have a wide range in texture and depth, and often occur in depressed sites. Strong gleying and accumulation of surface organic matter are usually features of most soils.</p> <p><i>Poorly drained</i> - water is removed very slowly in relation to supply. Subsurface and/or groundwater flow, as well as precipitation, may be a significant water source. Seasonal ponding, resulting from runoff and insufficient outfall, also occurs. A perched water table may be present. Soils have a wide range in texture and depth; many have horizons that are gleyed, mottled, or possess orange or rusty linings of root channels.. All horizons remain wet for periods of several months</p> <p><i>Imperfectly drained</i> - water is removed only slowly in relation to supply. Precipitation is the main source if available water storage capacity is high, but subsurface flow and/or groundwater contribute as available water storage capacity decreases. Soils have a wide range in texture and depth. Some horizons may be mottled and/or have orange or rusty linings of root channels, and are wet for periods of several weeks.</p> <p><i>Moderately well-drained</i> - water is removed from the soil somewhat slowly in relation to supply, due to low permeability, shallow water table, lack of gradient, or some combination of these. Significant additions of water by subsurface flow are necessary in coarse-textured soils. Some horizons may remain wet for as long as one week after water addition.</p> <p><i>Well- drained</i> - water is removed from the soil readily but not rapidly. Excess water flows downward readily into underlying, moderately permeable material or laterally as subsurface flow. Soils are often medium in texture.</p>														

	<p>Some horizons may remain wet for several days after water addition.</p> <p><i>Rapidly drained</i> - water is removed from the soil rapidly in relation to supply. Excess water flows downward rapidly if underlying material is highly permeable. There may be rapid subsurface lateral flow during heavy rainfall provided there is a steep gradient. Soils are usually coarse-textured, or shallow, or both. No horizon is normally wet for more than several hours after water addition.</p>
<p><b>Emerson Aggregate Test (Amended)</b> (Patterson 2013)</p>	<p>Amended Emerson Aggregate Test using distilled water</p> <p>Class 1 - Slaking with Complete Dispersion</p> <p>Class 2 – Slaking with Some Dispersion</p> <p>Slaking (Class 2)</p> <p>Class 2 Slake 1 – Slight slaking</p> <p>Class 2 Slake 2 – About half slaked</p> <p>Class 2 Slake 3 – Fully slaked</p> <p>Class 7 – Swelling, No Slaking</p> <p>Class 8 – No Swelling, No Slaking</p> <p><u>Note:</u> (Source: Patterson 2013)</p> <p>1. For wastewater management, soils are not physically disturbed (ploughed) therefore the remould component of Emmerson Test not relevant.</p> <p>2. Non-dispersive, slaking subsoil are not an issue for effluent disposal</p>
<p><b>Mottles</b> (Moore 2004)</p>	<p>Mottles can be seen as a pattern of spots or blotches of different colour interspersed within the dominant matrix soil colour. They are concentrations of iron oxides which have resulted from the redistribution of iron oxides due to alternating episodes of aerobic and anaerobic (ie oxidising and reducing) soil conditions common in seasonally waterlogged soils.</p>
<p><b>Perched water table</b> (AS/NZS 1547:2012:15)</p>	<p>Groundwater that has beneath it unsaturated soil material into which the groundwater drains</p> <p>NOTE: A perched water table is nearly always periodic or seasonal.</p>
<p><b>Secondary waste - water treatment</b> (AS/NZS 1547:2012:16)</p>	<p>Aerobic biological processing and settling or filtering of effluent received from a primary treatment unit</p>
<p><b>Waning</b> (AS/NZS 1547:2012:92)</p>	<p>(Land) Element up-slope is steeper; (land) element down-slope is gentler; thus water is progressively slowed down as it runs off, promoting soil wetness</p>
<p><b>Watercourse</b> (AS/NZS 1547:2012:18)</p>	<p>A stream that:</p> <p>(a) Has visible bed and banks, that is, an eroded channel no matter how small but not a defined non-eroded grassy course or drainage depression; and</p> <p>(b) Is partially fed with water from some source other than surface water run-off (for example, springs, snowfields, or spongy soil that absorbs rainfall and then releases it into the stream over a longer period)</p>





- Subject Site
- Buffer
- Indicative Road Network

- Zones**
- RR (Rural Residential)
  - CN (Conservation)
  - TC (Tourist Commercial)
  - SC (Service Commercial)
  - FD (Future Development)
  - CP (Community Purpose)
  - M (Main Road)
  - RL (Rural Living)

### Proposed Zoning and Potential Development

Lot 11 and Lot 15 Hundred of Strangways  
176A and 176B Bees Creek Road, Bees Creek







11 July 2016

Mr Michael Holmes  
Acting Director Lands Planning  
Department of Lands and Planning and the Environment  
GPO Box 1680  
Darwin NT 0801

Dear Michael

**PA2016/0277**

**Lot 11 and Lot 15, 176A and 176B Bees Creek Road, Bees Creek, Hundred of Strangways  
Rezone from Zone RL (Rural Living) to Zone RR (Rural Residential)**

Thank you for the Planning Scheme Amendment Application referred to this office on 17/06/2016, concerning the above. This letter may be tabled at Litchfield Council's next Council Meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

**Council supports the granting of a Planning Scheme Amendment for the following reasons:**

- a) the proposal is consistent with the Darwin Regional Land Use Plan
- b) the proposal is consistent Council's support for the planning of rural activity centres within the Litchfield Subregional Land Use Plan
- c) best practice planning theory supports development of smaller lots near activity centres
- d) the site is located approximately 550m from a range of community facilities and additional community facilities are expected to be developed near the site in the future
- e) the site includes an easement that acts as a buffer to the western boundary and recommends a buffer to the eastern boundary, which should be supported by Council at future subdivision stage
- f) the land characteristics can support further development of the site
- g) any future subdivided lots will be required to be connected to reticulated water
- h) there is not expected to be any significant impact to the surrounding road network as a result of the rezoning proposal.

If you require any further discussion in relation to this application, please do not hesitate to contact me on 08 8983 0600.

Yours faithfully



Kaylene Conrick  
CEO

Agenda Item Number:	13.6	Report Number:	16/0153
Report Title:	Quarterly Report April 2016 – June 2016: Infrastructure and Planning		
Meeting Date:	20/07/2016	Record Number:	LITCHFIELD-1174427650-288941
Attachments:	Nil		

## Summary

This is the Quarterly Report for the period of April - June 2016 for activities carried out by the Infrastructure and Planning Department.

## Recommendations

THAT Council receive and note the Infrastructure and Planning Department April - June 2016 Quarterly Report.

## Background

Infrastructure and Planning Services maintains the civil infrastructure owned by Council and is responsible for providing waste management, regulatory services, and statutory and strategic planning services.

The Infrastructure and Planning team currently comprises an Acting Director Operations and a team of 29 staff.

## Infrastructure - Works

### Unsealed Roads

- Re-sheeting of a 300m section of Bees Creek Road from the Jenkins Road turn off.
- Additional re-sheeting carried out on Chibnall Road.

### Sealed Roads

- RFT 128 – Sealing of Brougham Road is 100% completed.
- RFT 129 – Sealing of Byers Road & Manton Valley Road is 100% completed.
- Extension of the right turn lane from Girraween Road into Dichondra Road.
- 200m of Asphalt over floodway to repair pavement on Girraween Road.
- 200m asphalt pavement repair on Gulnare Road.
- 30m asphalt pavement repair on Hicks Road over causeway.

### Major Projects

#### 1. Awarding of Contract:

- RFT 130 – Intersection upgrade of Freds Pass, Redcliffe and Krichauff roads – Allan King & Sons.
- RFT 133 – Anzac Parade upgrade from CH 2.75 and CH 4.23 – Coleman's Contracting and Earthmoving.
- RFT 134 – New Care takers residence at Berry Springs Reserve – Timber & Steel Constructions.

## 2. Projects:

- Upgrade of the Intersection at Freds Pass, Redcliffe and Krichauff Roads has commenced and is 50% completed. This is due to be completed by the end of August 2016.
- Anzac Parade upgrade is 80% completed. This is due to be completed by the end of July 2016.

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## **Maintenance**

- Pavement repairs: Approximately 41 tonnes of asphalt hot mix has been used for potholes and edge patching throughout the municipality.
- Installation of Bollards: Bollards and appropriate signage has been installed at various locations in an attempt to reduce damage to Council assets and nuisance to local residences from quad bikes.
- Shoulder repairs: Shoulder top up and repairs to approximately 20 roads has been undertaken and is ongoing with many more roads being identified in need of attention.
- Driveway repairs: Approximately 20 driveway accesses have been repaired, this is also ongoing.
- Driveway Culverts: Culverts are included in the asset register, and if they have been identified as being blocked they have been cleaned out by contractors.
- Table drains: Approximately 5km of roadside table drains have been desilted and repaired.
- Tree removal: Works to remove dead or dangerous trees within road reserves continued.

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## **Key Performance Indicators**

Potholes repairs maximum dimension below 300mm, within 5 days	Achieved 100%
Isolated Pavement failures when damage is below 100mm.	Achieved 100%
Emergency Response to be mobilised from the moment that Council takes appropriate notice, within 1 hour.	No request received



### Statutory Planning

Statutory planning involves planning for development in accordance with the requirements of the NT Planning Scheme. Statutory planning activities include review of all applications for development within the municipality, including subdivisions and making comment. The following table indicates activities carried out during the quarter:

Application Type	Received	Annual Total
Change of Use	1	1
Clearing of Native Vegetation	2	11
Community Centre	0	1
Consolidation	1	1
Educational Establishment	0	0
Excavation and Fill	0	0
Home Occupancy/Contracting	2	2
Independent Unit	0	13
Industry	0	0
Medical Centre	0	0
Mining Application	0	0
Multiple Dwelling	0	0
Office	0	0
Other	1	14
Planning Scheme Amendment	5	5
Public Building	0	0
Restaurant	0	0
Re-Zoning	0	0
Rezoning and Development	0	0
Rezoning and Subdivision	0	0
Service Station	0	0
Shed	2	3
Shop	1	2
Single Dwelling/Dual Occupancy	1	1
Subdivision	6	30
Subdivision and Consolidation	1	2
Undefined Use	0	0
Unit Title Subdivision	0	0
Unit/Guest House	0	0
Variation	2	2
Warehouse	0	0
<b>Total</b>	<b>25</b>	<b>88</b>

### Notable statutory planning issues during the quarter were:

- Revised information for 54 lot subdivision off Cyrus Road, Berry Springs.
- Subdivision and consolidation of 5 lots on Mander Road to create a one-stop-shop development, including a bottle shop.
- Animal Boarding facility on Pheasant Drive.

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### Strategic Planning

Strategic Planning involves long-term planning to give guidance for future development. Strategic planning activities primarily serve to amend the NT Planning Scheme. This category primarily includes rezoning applications, but also includes Area Plans, Concurrent Applications and other amendments to the NT Planning Scheme policies and principles. The following table indicates activities carried out in this area during this quarter:

Application Type	Received	Annual Total
Rezoning	2	8
Planning Scheme Amendment	3	3
Concurrent Application	0	5
Other	0	3
<b>Total</b>	<b>5</b>	<b>19</b>

### Notable strategic planning issues during the quarter were:

- 395 Stuart Highway Concurrent application – originally submitted in October 2015, resubmitted for comments this quarter.
- Draft Litchfield Subregional Land Use Plan document.
- Noonamah Ridge rezoning.
- Dual Occupancy in Zone SD Planning Scheme Amendment.
- Low Risk/Low Impact changes to NT Planning Scheme.

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### Mining Leases and Permits

Mining Leases and Permits are managed under the Mining Act, and Council is offered the opportunity to make submissions. Activities in this area over the past quarter are provided in the chart below:

Application Type	Received	Annual Total
Mining Lease	1	20
Mining Permit	2	14
Other	0	2
<b>Total</b>	<b>3</b>	<b>36</b>

## Key Performance Indicators

Provide planning assessment in accordance within Council technical requirements and within specified timeframes.	Achieved 100%
Facilitate communication between constituents and Development Assessment Services so public concerns can be appropriately assessed.	Achieved 100%

## Waste Management

Council maintains waste transfer stations at Howard Springs, Humpty Doo and Berry Springs. The following chart provides an overview of waste received:

*Please note the landfill waste will include figures from 1 April 2016 to 30 June 2016.*

Waste Types	Howard Springs	Humpty Doo	Berry Springs	Quarter Total	Total 2015/16
Land Fill Waste Shoal Bay (tonnes)	479.8	1263.65	436.54	2179.99	9408.02
Batteries tonnes	5.05	19.64	0	24.69	100.33
Recyclables	0	0	0	0	0
Cardboard (cubic metre)	321	468	315	1104	4320
Cardboard Tonnes	8.805	17.65	10.58	37.035	173.725
Co-mingle (cubic metre)	87	145	69	301	1141
Co-mingle (tonnes)	7.425	15.075	3.655	26.155	119.251
Construction Waste (tonnes)	0	100.07	0	100.07	462.86
Domestic vehicle (vehicles)	16269	18250	0	34519	134215
Green waste ute or trailer (cubic metre)	512	418	0	930	3315
Green waste commercial (tonnes)	0	60.13	0	60.13	258.58
Mulch Sales (cubic metre)	495	528.5	0	1023.5	3885.5
Non Litchfield Residents (users)	13	45	0	58	254
Shoal Bay Deliveries (trucks)	63	127	57	247	1047
Scrap Metal (tonnes)	59.5	132.53	72	264.03	1219.42
Used Oil (litres)	4803	7619	0	12422	51154
White Goods (Tonnes)	9	18.48	0	27.48	108.6

Wood Mulch Sold (cubic metre)	55.5	322	0	377.5	1309.5
Air conditioners	0	4.78	0		
Crushed Concrete	0	40	0	40	1089
Tyres	0	70	0	70	439
Tyres from EPA grant	0	397	0	397	401.36

## Comparative Analysis

Waste Types	2013/14	2014/15	2015/16	Comparison with 2013/14
Land Fill Waste Shoal Bay (tonnes)	9778	9200	9408.02	Similar
Batteries (Pallets)	50	78	100.33	Increase 22.25%
Recyclables	0	0	0	NA
Cardboard Tonnes	137	174	173.73	Similar
Co-mingle (tonnes)	277	276	119.25	Significant Decrease
Mulch Sales (cubic metre)	2601	5422	3885.5	Fully Sold
Scrap Metal (tonnes)	542	845	1219.42	Increase 30.7%
Used Oil (litres)	18648	36243	51154	Increase 29.15%
White Goods (Tonnes)	NA	179	108.6	Decrease 64.83%

In addition, approximately 30 tonnes of cans and bottles that are refunded 10 cents are now separated. Quantities have only slightly reduced.

## Key Performance Indicators

Waste tonnage to Shoal Bay less than 10,000 tonnes - Estimated to achieve compliance.

### Regulatory Services

Regulatory Services includes animal management, infringements, education and other regulatory activities. Regulatory Services Officers are Authorised Officers under Section 122 of the Local Government Act. Activities carried out this quarter include:

	Total 2014/15	Apr-June 2015	Apr-June 2016	Total 2015/16
Dogs at large	248	63	83	325
Dog menacing animals	8	2	4	15
Dogs attacking animals	86	23	23	78
Lost Dogs	221	51	44	236
Dogs menacing people	47	5	10	27
Dog attacking person	13	3	4	14
Nuisance barking	45	12	6	55

Trap requests	31	11	13	35
Other	28	4	9	26
Total	727	174	196	811

Other activities include dealing with abandoned vehicles, large/feral animal management, and other less frequent responses to regulatory issues.

---

## Key Performance Indicators

Provide local safety and microchipping programs greater than at seven locations per year	Achieved
Action customer requests within five working days, 90% required	97% compliance

## Mobile Work Force

This quarter is predominately aimed at finishing the second round of slashing, mowing, and litter collection as weed spraying has been completed.

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## Signs and Guide Posts

- The team has been concentrating on ensuring all our road signs are compliant with the Australian standard; the vast majority of signs attended were deemed non-reflective or on spikes. This task will continue until November 2016.
- In this quarter 230 signs have been completed.

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## Mowing and Slashing

During this quarter, round two of slashing along all of our road network and Council's excised lands / firebreaks has been completed. The team has also completed a thread cut on some of our main arterial roads. Mobile workforce has also carried out various tasks around the Council office and assisted the rangers when required.

During the slashing and mowing rounds, the team has clocked up many hours on the machines; this is why there is at least 3 services per machine per season at the mobile workforce shed. These services are carried out by the Council Operators along with the general cleaning of Council's vehicles. Council Operators undertake this work as a part of their roles in order to minimise costs to external contractors, however major services are done annually through machine particular dealers.

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## Litter Collection and Other Tasks

There has been litter collection along most of council's arterial roads, with some bulk collections on Council's lands and road network. The team have also removed nine abandoned vehicles from Council's lands.



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## Key Performance Indicators

Round one of slashing and spraying	Achieved
Round two is well underway and on target	
Signs are well underway to being brought up to standard by November 2016	60% Achieved

Recommending Officer: Peter Reeve – Acting Director Operations

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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Agenda Item Number:	13.7	Report Number:	16/0154
Report Title:	Amend information provide to Council related to the Pensioner Rate Discount for the 2016/17 Financial Year.		
Meeting Date:	20/07/2016	Record Number:	
Attachments:			

**Summary**

The purpose of this report is to amend information related to the Pensioner Rate Discount for the 2016/17 Financial Year contained in Report number 16/0146 presented to Council at the meeting held on 8 July 2016.

**Recommendations**

THAT Council:

1. Receive and note the error made regarding the financial impact of the 5% Rate Discount. The financial impact of the 5% Rate Discount is \$33,874.24.

**Background**

The information that was previously provided to Council regarding the Pensioner Rate Discount for the 2016/17 year was incorrect.

The table below contains the information previously provided to Council and the Amended Information.

	<b>Information Provided to Council 8 July 2016, report 16/0146</b>	<b>Amended Information</b>
Number of Properties held by NT Pension holders in Litchfield	1096	1010
Ratepayers in Arrears - Ineligible	Not Provided	82
Ratepayers Eligible for Discount	Not Provided	928
Cost of Discount to Council	\$12,330	\$33,874

**Links with Strategic Plan**

2. A great place to live

**Legislative and Policy Implications**

None

**Risks**

No risks identified.

**Financial Implications**

928 ratepayers (926 Residential properties & 2 Coolalinga properties) will be eligible for the discount in the 2016/17 financial year. The cost of the discount to Council is \$33,874.

The information previously provided to Council indicated that the cost was going to be \$12,330, the amended cost of the discount \$33,874 requires an additional \$21,544 to fund this initiative.

Calculation of cost discount:

	Rates##	Discount	Number of Eligible Properties	Cost of discount
A. Residential Properties*	\$729	\$36.45	926	\$33,752.70
B. Residential Properties#	\$1,215.36	\$60.77	2	\$121.54
<b>TOTAL COST OF DISCOUNT</b>				<b>\$33,874.24</b>

\*Zoned: SD, MD, MR, HR, CL, PS, OR, H, A, RR, RL, R, CP, CN, HT, RD. WM, T, SU, M, PM, RW & U)

# Zoned: Coolalinga, SD, MD, MR & HR

## Note this is rates only, does not include Waste Charges

The Discount is to be applied on the 2016/17 declared rate value as per Council's Declaration of Rates & Charges 2016/17. The applied discount is then subtracted from the declared rate value along with the NT Pensioner Cardholders Concession to give the final rate payable.

An example on how the net rates and charges payable will be calculated is as follows:

	A. Residential Properties	B. Residential properties
Declared Rates 16/17	\$729	\$1,215
Deduct Discount 5%	(\$36.45)	(\$60.77)
Deduct NT Pensioner Cardholder Concession	(\$225)	(\$225)
<b>Rates 2016/17</b>	<b>\$467.55</b>	<b>\$929.23</b>
<b>Charges:</b>		
Waster Transfer Station	\$50	\$50
Waste Charge	\$339	\$339
<b>NET RATES &amp; CHARGES PAYABLE</b>	<b>\$856.55</b>	<b>\$1,318.23</b>

In order to ensure that this difference will not impact on the Budget bottom line, the Budget will be monitored closely to identify savings throughout the year. The error will not impact on Council's ability to deliver its 2016/17 activities and will not affect the bottom line.

Recommending Officer: Stuart Totham, Director Community and Corporate Services

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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Item Number:	13.8	Report Number:	16/0155
Report Title:	Acquittal of one off special purpose grant towards governance training for elected members		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	Letter of grant offer and acquittal form		

### Summary

The Department of Local Government and Community Services provided Council with a one off special purpose grant of \$20,000 towards governance training for elected members. These funds require acquittal including a resolution of Council.

### Recommendations

THAT Council acquits the \$20,000 grant received from the Department of Local Government and Community Services for Governance training provided by the Australian Institute of Company Directors - *Governance Essentials for Local Government* for elected members.

### Background

A General Election was held in December 2015 electing the current Litchfield elected members to office.

To support the new Council and as part of the Councillor Induction Program, a one-off special purpose grant of \$20,000 for governance training was successfully submitted to the Department of Local Government and Community Services.

The grant was used to procure *Governance Essentials for Local Government* two-day training from the Australian Institute of Company Directors (AICD) at a cost of \$20,709.09 excluding GST held on 3 and 4 March 2016.

Litchfield Council extended an invitation to elected members from other councils to attend the training. The following Council's attended:

- Wagait Shire Council
- Alice Springs Town Council
- Katherine Town Council
- City of Palmerston
- Tiwi Islands Regional Council
- Coomalie Community Government Council

The *Governance Essentials for Local Government* course covered the following modules:

- The Role of the Council and Councillors
- Introduction to Financial Statements for Councillors
- Risk – Issues for Councillors

- Leadership – The Councillor’s Role.

#### Links with Strategic Plan

2. A great place to live

#### Legislative and Policy Implications

Local Government Act

#### Risks

Nil

#### Financial Implications

Grants not acquitted may result in future grants not being provided to Council.

Recommending Officer:	Stuart Totham, Director of Community and Corporate Services
-----------------------	---

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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**Local Government Grants Unit**  
Ground Floor, RCG House  
83-85 Smith Street  
DARWIN NT 0800

**LITCHFIELD COUNCIL**

**Postal address** GPO Box 2850  
Darwin NT 0801  
**Tel** 08 8999 8820  
**Fax** 08 8999 8437

**2015-16 ACQUITTAL OF ONE-OFF SPECIAL PURPOSE GRANT**

Department of Local Government and Community Services

**File number:** 2013/01482

**Purpose of Grant:- \$30 000 towards the cost of the recent 2015 election and \$20 000 towards governance training of the newly elected members.**

Date of Approval of Variation to Grant (if applicable) / /201\_\_

INCOME AND EXPENDITURE ACQUITTAL FOR THE PERIOD ENDING 30 June 2016

Special Purpose Grant	\$20,000
Other income	\$ 0
Total income	<u>\$20,000</u>

**Expenditure** (Specify accounts and attach copies of invoices and ledger entries)  
**An 'administration fee' is not to be apportioned to the grant for acquittal purposes.**

Total Expenditure	<u>\$20,709</u>
Surplus/(Deficit)	<u>\$ 709</u>

-----We  
Certify, in accordance with the conditions under which this grant was accepted, that the expenditure shown in this acquittal has been actually incurred and reports required to be submitted are in accordance with the stated purpose of this grant.

Acquittal prepared by Aisla Connolly ..... 27/06/2016

Laid before the Council at a meeting held on 20/07/2016.. **Copy of minutes attached.** will follow.

CEO or CFO [Signature] ..... 28/6/2016

**DEPARTMENTAL USE ONLY**

Grant. amount correct?	YES/NO
Expenditure conforms with purpose	YES/NO
Minutes checked	YES/NO

Balance of funds to be acquitted	\$
Date next acquittal due	/ /
ACQUITTAL ACCEPTED	YES/NO

Prepared by

Comments

Peter Thornton – Manager Grants Program / /



Agenda Item Number:	13.9	Report Number:	16/0156
Report Title:	Progress report on the special purpose grant towards Howard Springs Scout Hall roof and internal refurbishments		
Meeting Date:	20/07/2016	Record No:	
Attachments:	Progress report		

## Summary

The Department of Local Government and Community Services provided Council with a special purpose grant of \$125,095 towards the roof of the Howard Springs Scout Hall and internal refurbishments. A progress report is required on the project and funding, including a resolution of Council.

## Recommendations

THAT Council submit a progress report on the \$125,095 grant received from the Department of Local Government and Community Services for the roof of the Howard Springs Scout Hall.

## Background

An application was submitted to the Department of Local Government and Community Services in February 2014 to replace the roof of the scout hall and refurbish the hall internally.

The roof was rusty and dangerous, the internals required refurbishment as the 30 year old building required lights and fans. The application was successful. The roof has been replaced, internal and abluion refurbishments have been completed with \$105,529 being spent to 30 June 2016. An extension of one month was granted to expend the balance \$19,566 for the remainder of the works, painting, tiling and electrical works.

## Links with Strategic Plan

1. Everything you need

## Legislative and Policy Implications

Local Government Act

## Risks

Failure to submit progress reports may result in grant funding being withdrawn.

## Financial Implications

Failure to submit progress reports may result in grant funding being withdrawn.

Recommending Officer: Stuart Totham, Director of Community and Corporate Services

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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 Ground Floor, RCG House  
 83-85 Smith Street  
 DARWIN NT 0800

**Postal address** GPO Box 2850  
 Darwin NT 0801  
**Tel** 08 8999 8820  
**Fax** 08 8999 8437

**Litchfield Council**

*Progress Report*  
**2014-15 ACQUITTAL OF SPECIAL PURPOSE GRANT**

Department of Local Government and Community Services

**File number: 2013/01482**

**Purpose of Grant:** To replace the existing roof of the Howard Springs scout hall and towards internal refurbishment with some extra amenities.

Date of Approval of Variation to Grant (if applicable) / /201\_\_

**INCOME AND EXPENDITURE ACQUITTAL FOR THE PERIOD ENDING 30 June 2016**

Special Purpose Grant	\$125,095
Other income	<u>0</u>
<b>Total income</b>	<u>\$125,095</u>

**Expenditure** (Specify accounts and attach copies of invoices and ledger entries)  
**An 'administration fee' is not to be apportioned to the grant for acquittal purposes.**

Total Expenditure	<u>\$105,529.</u>
Surplus/(Deficit)	<u>\$ 19,566</u>

-----We  
 Certify, in accordance with the conditions under which this grant was accepted, that the expenditure shown in this acquittal has been actually incurred and reports required to be submitted are in accordance with the stated purpose of this grant.

Acquittal prepared by *Annolly* ..... 30.../.../2016

Laid before the Council at a meeting held on ...../...../201.... **Copy of minutes attached.** to come.

CEO or CFO *[Signature]* ..... 30.../.../2016

**DEPARTMENTAL USE ONLY**

Grant. amount correct?	YES/NO
Expenditure conforms with purpose	YES/NO
Minutes checked	YES/NO

Balance of funds to be acquitted \$

Date next acquittal due / /

ACQUITTAL ACCEPTED YES/NO

Prepared by .....

Comments .....

Peter Thornton – Manager Grants Program / /

Agenda Item Number:	13.10	Report Number:	16/0157
Report Title:	Amended Memorandum of Understanding – Council & Fred Pass Sport and Recreation Reserve Management Board regarding the Governance & Acquittal of the \$3M Northern Territory Government infrastructure upgrade grant		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	Memorandum of Understanding (MOU)		

### Summary

Council has received a \$3M Grant from the Northern Territory Government to facilitate the upgrade of infrastructure to the Freds Pass Reserve.

To ensure good governance, decision making, grant management, procurement and reporting, a Memorandum of Understanding (MOU) has been prepared to outline the framework from which the grant will be managed.

Council adopted a previous version of the MOU at the June 15 2016 Council meeting. Following further discussion with the Freds Pass Recreation Reserve Board the following changes to the original document are proposed:

- To include under *Responsibilities for the Fred's Pass Sports and Recreation Management Board* -to determine the scope of the project and be the spokesperson for the Reserve
- Project Reference Group membership be increased to include two representatives from the Fred's Pass Sport and Recreation Management Board
- Responsibilities for the Project Reference Group to include approval of all media relating to the project.
- Changes to meeting dates

### Recommendations

THAT Council

1. endorses the amended Memorandum of Understanding between Council and the Freds Pass Sports and Recreation Reserve Management Board; and
2. authorises the Chief Executive Officer to execute the Memorandum of Understanding between the Freds Pass Recreation Reserve Management Board and Council.

### Background

Council has received a \$3M Grant from the Northern Territory Government to facilitate the upgrade of infrastructure to the Freds Pass Reserve.

The grant includes upgrades to irrigation, electrical infrastructure, road networks, fencing and other amenities.

The project is due to run from July 2016 and be finalised by June 2017.



An MOU was endorsed for signing by Council at its meeting held 15 June 2016 however, after further discussion with the Fred's Pass Sport and Recreation Reserve Management Board it was agreed to make some changes, specifically:

- To include under *Responsibilities for the Fred's Pass Sports and Recreation Management Board* -to determine the scope of the project and be the spokesperson for the Reserve
- Project Reference Group membership be increased to include 2 representatives from the Fred's Pass Sport and Recreation Reserve Management Board
- Responsibilities for the Project Reference Group to include approval of all media relating to the project.
- Changes to meeting dates

#### Links with Strategic Plan

4. A vibrant economy

#### Legislative and Policy Implications

- Local Government Act, Part 5.2 Council Committees
- GOV10 Recreational Reserves Committees

#### Risks

An MOU is a risk management tool ensuring that all parties understand roles and responsibilities.

#### Financial Implications

None.

Recommending Officer: Stuart Totham, Director of Community & Corporate Services

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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# **Memorandum of Understanding**

Litchfield City Council

And

Fred Pass Sport and Recreation Management Board Inc.

## **Parties:**

Litchfield Council  
7 Bees Creek Road  
Freds Pass NT 0822

And

Freds Pass Sport and Recreation Management Board Inc.  
PO Box 289  
Humpty Doo NT 0836

## **1. PURPOSE OF THE DOCUMENT**

This document constitutes a memorandum of Understanding (MOU) and documents the relationship of goodwill between the above mentioned parties for the purpose of the expenditure and acquittal of the Northern Territory Government Department of Sport and Recreation grant to upgrade the Freds Pass Reserve Infrastructure.

The parties do not intend for this MOU to be legally binding.

The key objective of the MOU is to establish the arrangements between the parties including to:

- a. Identify how the parties will work collaboratively to ensure grant acquittal as per the terms of the funding agreement; and
- b. Outline the accountabilities and commitments of the parties during the infrastructure upgrade project.

## **2. BACKGROUND**

The Litchfield Council leases the Freds Pass Recreation Reserve to the Fred Pass Sport & Recreation Management Board Inc.

The Freds Pass Management Board was established in 1977 to oversee the management of the Reserve.

Litchfield Council provides both operational and capital funding to the Board for the Reserve.

The Freds Pass Sport & Recreation Management Board is responsible for the operational performance of the Reserve.

During 2015 a Master Plan to articulate a strategy that would oversee the future development of the Reserve was developed and adopted by the Management Board and Litchfield Council.

A Grant Application for infrastructure upgrades to the Reserve was presented to the Northern Territory Government through the Department of Sport and Recreation and in May 2016 received news that the application for the \$3M grant funding had been successful.

The subsequent grant agreement was developed with key project outcomes, timeline and reporting / acquittal requirements.

### 3. PROJECT OUTCOMES

The Funding received from the Northern Territory Government is for a specific purpose and over a prescribed term. The \$3M is for an upgrade to infrastructure upgrade for the Freds Pass Reserve, more specifically for the following items:

<b>Components</b>	<b>Budget</b>	<b>Component Completion Date</b>
Developing a new pump house and irrigation, initial investigation and survey for dredging and expanding holding	\$50 000	December 2016
Electrical upgrades and improved reticulation and lighting	\$840 000	May 2017
Improve road networks, parking and drainage	\$1 500 000	March 2017
Construction of shower/toilet blocks across the complex	\$400 000	January 2017
Improve fencing	\$110 000	September 2016
Project management	\$100 000	June 2017
<b>TOTAL FUNDING EXPENDITURE</b>	<b>\$3 000 000</b>	

A more specific and detailed project plan will be developed in conjunction with the appointed Project Manager prior to project commencement.

### 4. RESPONSIBILITIES & ACCOUNTABILITIES

Under the terms of this Agreement the Council will:

- Co-ordinate all communication with NTG in relation to the Grant
- Coordinate all media and other communications related to the Grant
- Grant Acquittal & Grant Reporting
- Payment to contractors and suppliers
- Grant related procurement
- Engage the services of a Project Manager
- Project Management
- Provide Progress reports to Council & Reserve Board



Under the terms of this Agreement the Freds Pass Sports and Recreation Management Board will provide or:

- Determine the scope of the project
- Coordinate all communication to Freds Pass Reserve User Groups in relation to the upgrade project
- Any additional information required either to assist with the acquittal of the Grant or for other reporting purposes
- Coordination of User groups to ensure where relevant access and cooperation with Project Management is assured
- Be spokesperson on behalf of the reserve

## 5. DISPUTE RESOLUTION

The parties agree to notify each other in writing of any problems or issues as they arise and to consult in good faith to determine any unresolved disputes in order to achieve the objectives of the project and MOU.

The parties agree to meet within 7 days of a dispute arising with a view to resolving it.

If the dispute cannot be resolved to the satisfaction of the parties, the parties may appoint an independent mediator to assist in resolving the dispute.

Should the mediation fail, the parties may decide to terminate the MOU.

## 6. PROJECT GOVERNANCE & DECISION MAKING

The project's success and grant acquittal will be the responsibility of the Litchfield Council. The Council will govern the project and grant expenditure via the establishment of two groups:

<b>Freds Pass Upgrade Reference Group:</b>
--

Role:	High Level grant governance & decision making
Reporting:	Provide reports to Litchfield Council and Freds Pass Sport and Recreation Management Board on a quarterly basis
Membership:	Stuart Totham (LC, Director of Community & Corporate Services) Freds Pass Sport and Management Board Members (x2) Litchfield Councillor Herb Backers (LC, Roads Network Manager) Aisla Connelly (secretarial support)

Media: Approval of all media relating to the project

Meetings: Quarterly: July 16, November 16, March 17 & June 17, or as required

**Freds Pass Upgrade Working Group:**

Role: Day to day project management and Coordination

Reporting: Quarterly Project Management reports to Reference Group in agreed format.

Membership: Herb Backers (LC, Roads Network Manager)  
Project Manager (TBA)  
Stuart Totham  
Steve Bock (FPSRMB Operations Manager)  
Aisla Connelly (secretarial support)

Meetings: Fortnightly or as required

## 7. PROJECT REPORTING

Grant Reporting as stipulated in the grant funding agreement.

<b>REPORT</b>	<b>DATE REQUIRED</b>
Progress Reports	Every 3 months
Final Progress Report	30 June 2017
Funding Acquittal Statement, in the form set out in Schedule 4	31 July 2017
A copy of the Recipient's most recent audited financial statements, including income and expenditure statements and balance sheets, which must:  (a) clearly identify the Funding and the expenditure of the Funding; and  (b) be undertaken by a qualified auditor with appropriate professional registration.	31 July 2017
Any other reports or information as reasonably requested by the Territory	At such times as may be reasonably requested by the Territory

**Agreed by:**

---

Maree Bredhauer  
Mayor, Litchfield Council  
Date

---

Judy Cole  
Chairman, Freds Pass Sport and Recreation Reserve Management Board  
Date

Agenda Item Number:	13.11	Report Number:	16/0158
Report Title:	Community and Corporate Services Quarterly Report April to June 2016		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	Nil		

## Summary

Presented for Council information is the Community and Corporate Services quarterly report for the period April to June 2016.

## Recommendations

THAT Council receive the Community and Corporate Services quarterly report for the period April to June 2016.

## Background

Community and Corporate Services provides financial and general corporate support to other areas of Council as well as the broader Community including the management of Council owned Community Recreation Reserves.

## Finance

Over the previous few months the finance team has been actively preparing Litchfield Council's Municipal Plan and Budget for 2016/17, including Council's Long Term Financial Plan and rates declaration for 2016/17.

During this quarter Council's Auditors were onsite for a week undertaking preliminary work in preparation for completing the 2015/16 financial audit.

Community and Corporate Services has restructured Council's accounting ledger to ensure alignment with the Municipal Plan 2016/17. Over the next quarter the Department will be focusing on an upgrade of Council's accounting software and developing a new set of reports to provide a more professional and informative suite of reports for Council and to improve information for managers.

Other activities include commencing the implementation of the new Risk Management Framework recommended by the Risk Management & Audit Committee and approved by Council recently.

## Rates

Over the past few months the Rates Department has been focusing on collecting outstanding rates. This has involved the engagement of Territory Debt Collectors (TDC) to assist with this process. TDC sent out 297 Letters of Demand and to date Council has received payments of outstanding rates to the value of \$113,587.44.

In terms of outstanding rates Council's position at 30 June 2016 is as follows:

- Rates received over the period April to June 2016 \$866,654
- Total Rates outstanding \$2,048,329 (Total Rates outstanding at 30 June 2015 \$2,521,627)
- \$719,330 or 8.0% of current year rates remain outstanding

The 2016/17 Rates has been declared by Council and were published in the Litchfield times on Tuesday 12 July.

Rates notices along with a rates newsletter will be posted out at the end of July 2016

## Human Resources & Work Health & Safety

### Human Resources (HR)

It has been a busy period in this department over the last few months, below is a summary of key activities over the last quarter:

- Organisation restructure.
- Recruitment of both Director roles – Director Operations position remains unfilled.
- Appointment of Director Community and Corporate Services.
- Commenced development and review of Job Descriptions for all roles.
- Recruitment of four staff positions; Governance & Risk Officer, Human Resources Advisor, Executive Assistant to CEO & Mayor and Community Engagement Officer. The Community Engagement Officer position is still to be finalised, staff have been recruited to all of the other three positions.
- Microsoft Outlook Corporate Training across the Council.

HR is currently working on the following projects:

- Developed the Performance Management Plan Plans for all staff including the setting of KPIs and targets for the twelve-month period to the end of June 2017.

What is planned over the next quarter:

- Induction and On-boarding for new staff commencing in August
- Completion of Performance Management & Work plans for all roles
- Development of individual training plans for staff

Over the next twelve months:

- Enterprise Bargaining negotiations. Council's Enterprise Agreement concludes in 2017
- HR Policies – ensuring Local Government Act Compliance
- Performance Planning & Reviews
- Corporate Training Program

### Work Health and Safety

Mobile Work Force:

- The monthly safety and toolbox meeting held in June with discussions focussing on safe work methods, WHS and incidents.



#### Waste Transfer Stations:

- The monthly safety and toolbox meeting held in June with discussions focussing on work related issues, hazards, WHS and incidents.

#### Thorak Regional Cemetery:

- The monthly safety and toolbox meeting held in June with discussions focussing on work related issues, WHS and incidents.

### Incident Report

There were no notifiable incidents pursuant to Part 3 of the Work Health and Safety Act 2014 ('WHS Act') in the reporting period April 2016 to June 2016.

There were no notices served pursuant to Part 8, section 155 or Part 10 section 195 of the WHS Act (provisional improvement and prohibition notices) during this reporting period.

S/N	Incident	Count	Work Area	Impact
1	Workplace Fatalities	None	N/A	Nil
2	Near Misses	None	N/A	Nil
3	Minor injuries reported	1	Mobile Workforce	Downtime
4	Workplace Injury claims	1	Mobile Workforce	
5	Reported Equipment Damage or Loss	2	Mobile Workforce	
6	Reported Equipment Damage or Loss	1	Waste Transfer Station	

### Information technology

The information technology area continues to provide excellent support to the operations of Council processing 226 requests over the previous six months.

We have also reviewed and renewed Council contracts with Civica (Authority – Council's Corporate Management System) and Exponare (GIS Mapping).

The following projects are currently underway:

- Automated mapping system
- Authority upgrade
- Preparation of draft IT Strategy Scope
- E Services in Authority (access to system for remote users)
- Asset Management Program
- Records Management review (Infoexpert)

## Community

### Reserves

- Both Knuckey Lagoon and Howard Park Reserve Associations have dissolved with Council Committees now managing the Reserves.
- Berry Springs Recreation Reserve held their AGM on 26 April, appointing members of the Management Board.
- The Livingstone Recreation Reserve held their AGM on 9 June, appointing members of the Management Board.
- McMinns Lagoon Reserve held a working bee to clean up weeds and fallen palm fronds.
- Humpty Doo Village Green was the location for the ANZAC Day Service on 25 April, it was a successful commemorative event held by the Lions Club of Litchfield
- Freds Pass Sport and Recreation Reserve were successful with \$3 million in funding from the Department of Sport and Recreation.

### Community Groups

Council participated in the following community events

- Freds Pass Rural Show 17 and 18 May 2016
- Girraween Primary School Field Day 22 June 2016

The following community information was displayed on Councils website

- Rural Potters Mother Day Pottery Fair 7 and 8 May 2016
- Berry Springs AGM and Markets 26 April 2016

The following community information was displayed on Councils Facebook page

- Taminmin Community Library School Holidays Schedule
- Territory Day Event at Berry Springs Reserve 1 July 2016
- Community Working Bee McMinns Lagoon Reserve 5 June 2016
- Controlled Burn Guy Road Herbert, Lambells Lagoon Volunteer Fire Brigade 22 May 2016
- Darwin Art Trail, third Sunday of each month (9 May 2016)

### Grants

#### Acquitted (completed) Projects

FUNDING BODY	GRANT	LOCATION	AMOUNT NETT	AQUITTED ON
NTG Dept Local Gov	Elected Members Governance Training	Litchfield Council	\$ 20,000.00	30/06/2016

NT Environment Protection Authority	Waste Tyre Recycling Amnesty	Litchfield Council	\$ 10,000.00	30/06/2016
Community Benefit Fund	Interpretative signage	McMinns Lagoon Reserve	\$ 11,000.00	30/06/2016
NTG Dept of Business	Shade-house	McMinns Lagoon Reserve	\$ \$3,929.00	30/06/2016

### Current Projects

FUNDING BODY	GRANT	LOCATION	AMOUNT NETT	COMPLETION DUE
NTG Dept Local Govt Special Purpose	Caretakers Dwelling	Berry Springs Reserve	\$ 189,455.00	30/06/2017
NTG Dept Sport & Rec	Facility Upgrades	Freds Pass Reserve	\$ 3,000,000.00	30/06/2017
Dept Sport & Rec	Litchfield Horse and Pony Club	Livingstone Reserve	\$ 175,500.00	30/09/2016
NT Environment Protection Authority	Waste Education Flier Grant	Litchfield Council	\$ 10,000.00	30/12/2016
NTG Dept Local Govt Special Purpose	Howard Park Reserve Scout Hall Roof	Howard Park Reserve	\$ 125,095.00	30/07/2016
NTG Dept Local Govt	Aquatic Facility feasibility study	Litchfield Council	\$ 40,000.00	30/06/2017

### Submitted Applications

FUNDING BODY	GRANT	ITEM	AMOUNT NETT	SUBMISSION DATE
NTG Dept of Business	Community Benefit Fund Small Community Grant	Cameras, McMinns Lagoon Reserve	\$ 5,000.00	30 May 2016
NTG Dept of Business	Community Benefit Fund Major Community Grant	Tractor, McMinns Lagoon Reserve	\$36,550.00	30 May 2016

NTG Dept of Business	Community Benefit Fund Major Community Grant	Kitchen Container, Livingstone Reserve	\$ 200,000.00	30 May 2016
NTG Dept of Business	Community Benefit Fund Major Community Grant	Stage 1 of Clubhouse, Southport Progress Association	\$ 120,000.00	30 May 2016
NTG	The Territory Remembers Memorial Grant	Litchfield Cenotaphs	\$ 10,807.00	15 June 16

<b>Key Performance Indicators Community</b>	<b>Target for 2015/2016</b>	<b>Achieved at June 2016</b>
Providing active support and participation in community generated events	>6 events	On target
Community organisation access and usage of Council's website	>15 organisations	On target

#### Links with Strategic Plan

#### 4. A vibrant economy

#### Legislative and Policy Implications

None.

#### Risks

None.

#### Financial Implications

None.

Recommending Officer: Stuart Totham, Director of Community & Corporate Services

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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Agenda Item Number:	13.12	Report Number:	16/0159
Report Title:	Supporting Partner – Territory Natural Resource Management 2016 Conference and NRM Awards		
Meeting Date:	20/07/2016	Record Number:	
Attachments:			

### Summary

Council has recently received a request from Territory Natural Resource Management (TNRM) to partner with it and support the upcoming TNRM 2016 Conference and NT NRM Awards to be held in Darwin on 22-24 November 2016. TNRM is expecting around 300 delegates to attend this year’s event.

This report recommends that Council provide \$2,500 partnership/sponsorship funding to support TNRM.

### Recommendations

THAT Council

1. Agrees to support the Territory Natural Resource Management 2016 Conference and NT Natural Resource Management Awards by financially contributing \$2,500; and
2. Authorises the Chief Executive Officer to sign the Partnering / Sponsorship documentation

### Background

TNRM is an independent not-for-profit organisation that works with landholders, community groups, industry and government to ensure sustainable management of our water, land, soils, plants and animals.

TNRM has been operating since 2005 and members include industry bodies, Landcare and community groups, local government, indigenous organisations, pastoral companies and local businesses.

Recently TNRM released its NT Natural Resource Management Plan 2016-2020 which provides a strategic NT-wide overview of the nine programs outlined in four regional plans. The Litchfield Municipality falls within the “Top End Region”. The Plan provides an integrated approach which aims to strengthen and develop strong partnerships and shared goals to ensure a collaborative approach to sustainable management of water, land, soils and biodiversity in the Top End.

TNRM is one of 56 Australian NRM groups that work across the country for the long-term management of our natural resources and is responsible for the coordination and administration of Australian Government funding provided specifically for natural resource management.

More information on TNRM can be found at <http://www.territorynrm.org.au/>

Council’s new Strategic Plan 2016-2020 has four priority areas of which one is *A beautiful natural environment*. This priority area has five outcome areas: protection, open space,

weeds, sustainability and fire. TNRM is a key organisation whose strategic direction matches Council's environment priorities towards ensuring that Litchfield Municipality is the best place to live in the Top End.

Each year TNRM holds a Conference and Awards event. This year's conference theme, "Shaping the future of NRM" will focus on innovative projects and collaborative projects to showcase and encourage real NRM change. The TNRM Awards recognise the achievements of Territorians who contribute their time and energy to sustainably managing the land, water, soil, plants and animals and maintaining the Territory's wonderful natural environment. TNRM is expecting around 300 delegates to attend the conference and awards.

TNRM is seeking Council support for the annual event and has invited Council to partner in the staging of the conference and awards. Partnership proposals include a range of financial and in-kind support packages:

Major Partner	Over \$9,000
Supporting Partner	\$5,500 to \$8,500
Contributing Partner	\$2,500 to \$5,000
Supporting Partner	\$1,500 to \$2,000

Each level of partnership support attracts sponsor rights. For example, a contribution of between \$1,500 and \$2,000 as a *Supporting Partner*, would entitle Council to one complimentary full conference registration, one complimentary ticket to attend the NT NRM Awards Gala Dinner and Council's logo would be displayed on the TNRM website, the Network Notes and during the conference and awards.

A financial contribution of between \$2,500 to \$5,000 as a *Contributing Partner* includes two complimentary tickets to the conference and awards, acknowledgment with Council's logo as with *Supporting Partner* (above) and in addition, advertisement and promotion of material in the delegates' satchel and the opportunity to display Council's banner on each day of the conference.

Council is working to strengthen its relationship with TNRM and recently the Mayor assisted TNRM as one of two external members on a panel assessing funding applications as part of the TNRM 2016 Community Grants – "building community capacity in natural resource management" stream. Community Capacity Grants are designed to build and retain community capacity to undertake natural resource management.

It is proposed that Council partners with TNRM to support the TNRM 2016 Conference and NT Natural Resource Management Awards by financially contributing \$2,500.

#### Links with Strategic Plan

### 3. A beautiful natural environment

#### Legislative and Policy Implications

Council's FIN07 Grants, Donations, Scholarships and Sponsorships Policy is relevant to this matter. The Policy states that all grants, scholarships, donation and sponsorships must benefit the Litchfield Council Municipality and must identify how it relates to the goals and strategies in the Municipal Plan.



The Policy also states that any request for sponsorship in excess of \$2,000 is to be considered by Council.

#### Risks

There are no risks identified.

#### Financial Implications

Council's Budget 2016/17 provides for donations and sponsorships to the value of \$122,000 including \$35,000 for Community Support Grants program from which Council's financial support of \$2,500 would be allocated.

Recommending Officer: Kaylene Conrick, Chief Executive Officer

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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Agenda Item Number:	13.13	Report Number:	16/0160
Report Title:	LGANT Executive Elections 2016		
Meeting Date:	20/07/2016	Record Number:	
Attachment A:	Letter dated 20 May 2016 calling for nominations to the LGANT Executive Board.		

## Summary

The Local Government Association of the Northern Territory (LGANT) has written to NT councils calling for nominations to its Executive Board; the letter is attached. The Board has nine members, one appointed member from the City of Darwin and eight other positions determined by vote.

Nominations are required to be submitted to LGANT by Friday 5 August 2016 along with a short biography for inclusion in the agenda papers for the LGANT Annual General Meeting to be held in Alice Springs on 2 December 2016.

The opportunity to nominate an elected member to one of the three positions available is tabled for Council's consideration.

## Recommendations

THAT Council consider the opportunity to nominate an elected member for one of the three positions available on the LGANT Executive Board:

1. LGANT Executive Board position- President
2. LGANT Executive Board position- Vice President-Municipalities; and
3. LGANT Executive Board position – Municipalities.

## Background

LGANT is the single peak body representing Local Government in the Northern Territory. It is an incorporated body governed by an Executive Board comprising members from councils across the Northern Territory.

Executive Board meetings are held monthly and the Board has power under LGANT's Constitution to make decisions in between general meetings which are held twice a year, usually in May and November/December.

Along with the 16 other local government authorities in NT, Litchfield Council is a member of LGANT.

The role of LGANT includes advocacy to the federal and territory governments, inter-governmental liaison, representation on national committees of interest to local government and generally supporting councils across a range of functions including governance, human resource management and finance. LGANT regularly meets with the Minister for Local Government to raise members' concerns and lobby for benefits to member councils.

LGANT's Executive consists of eight members elected from regional and municipal councils and one appointed member from the City of Darwin.

Of the eight positions available there are two positions elected from all councils being the President and one executive member. There are also two Vice President positions: one from shires and regional councils and one from municipal councils.

The remaining number of positions for members from shires and regional councils and municipalities is determined depending on the classification of the local government authority that the President comes from. That is, there will be between two or three executive members from shires and regional councils and either one or two from municipal councils.

This report tables for Council's consideration the opportunity to nominate an elected member for one of the three positions available; President, Vice President and/or for an Executive Board Member – Municipals position.

#### Links with Strategic Plan

2. A great place to live

#### Legislative and Policy Implications

There are no policy or legislative implications identified with Council nominating the Mayor to the LGANT Executive Board.

#### Risks

No risks identified.

#### Financial Implications

There are no costs to Council identified.

Recommending Officer: Kaylene Conrick, Chief Executive Officer

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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20 May 2016



Email to: LGANT Executive  
Mayors and Presidents  
Council CEOs

**Elections for the LGANT Executive are to be held on 2 December 2016 at the LGANT Annual General Meeting (AGM) being held at the Alice Springs Town Council.**

Nominations are called for the eight LGANT Executive positions listed in Table 1 below.

**TABLE 1**  
**LGANT Executive Positions and Elections to be held (in descending order)**

<b>Position and order of elections</b>	<b>Number of positions available</b>	<b>Councils that can vote</b>
<b>1. President</b>	One (1)	All councils
<b>2. Vice President – Shires and Regionals</b>	One (1)	Shire and regional councils only
<b>3. Vice President - Municipals</b>	One (1)	Municipal councils only
<b>4. Executive Board Members – Shires and Regionals</b>	Two or three (2 or 3)	Shire and regional councils only
<b>5. Executive Board Members – Municipals</b>	One or two (1 or 2)	Municipal councils only
<b>6. Executive Board Member</b>	One	All councils

**There is also one appointed member from the City of Darwin** which together with those listed in Table 1 above makes up the nine LGANT Executive positions.

**Attached is the nomination form for the various positions.**

**Telephone** (08) 8944 9688  
**Fax** (08) 8941 2665  
**Website** [www.lgant.asn.au](http://www.lgant.asn.au)

21 Parap Road, Parap, NT, 0820  
PO Box 2017, Parap, NT, 0804

**Councils should bear in mind that if they submit more than one nomination for positions on the Executive that:**

- only one candidate can be elected per council (this also includes the City of Darwin)
- once a candidate is elected from a council if there are other nominations submitted for further Executive positions then those nominations:
  - will lapse
  - will be withdrawn by having the names of candidates crossed out on ballot papers for remaining elections.

**The election of the President has impact on municipal and shire and regional council Board positions (rows 4 & 5 above in Table 1) because:**

- the number of positions left to contest for either type of council will depend on the outcome of the election of the President (who can be from either a municipal, shire or regional council)
- the City of Darwin appointed position further reduces the number available for municipal councils to contest.

For example, if the President is elected from a regional or shire council then the number of Executive Board member positions for that group of councils to **elect on their own (Table 1, Row 4)** will only be two (2). If however, the President is elected from a municipal council then the number of positions for regional and shire **councils to elect on their own (Table 1, Row 4)** will be three (3). The same scenario applies to municipal councils (**Table 1, Row 5**), that is, they may have to elect one (1) or (2) members depending on the President election result.

With the last Executive Board member position (**Table 1, Row 6**) there is opportunity for either a municipal or shire and regional council to take up this position with all councils voting.

**Currently the Executive has four members from municipal councils and five members from regional and shire councils.**

I would be grateful if you could have the matter considered at one of your upcoming council meetings. **Nominations are required to be with me by Friday 5 August 2016 along with a short biography so it can be included in the agenda papers for the AGM.** Members nominating are usually asked at the annual general meeting if they wish to say anything in support of their nominations.

The Northern Territory Electoral Commission will again be approached to do the counting of votes for the election.

**Under LGANT's governance charter (policy) the President and one of the Vice Presidents become LGANT's representatives on the Australian Local Government Association Board.** If the President is from a municipal council the Vice President has to be from a shire or regional council and vice versa.

Further information on this matter is available on the LGANT website which includes the LGANT Constitution – clauses 14-18 are relevant. If you have any other queries please contact me.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Tapself', written in a cursive style.

Tony Tapself  
**Chief Executive Officer**



# LOCAL GOVERNMENT ASSOCIATION OF THE NORTHERN TERRITORY



## NOMINATION OF OFFICE BEARERS

In accordance with clause 14.8 of the LGANT Constitution, I hereby call for nominations to the nine (9) positions on the LGANT Executive Board (one of which will include the appointed member nomination from the City of Darwin). Election for the remaining eight (8) positions on the LGANT Executive Board will be held on Friday 2 December 2016 at the LGANT Annual General Meeting in Alice Springs.

**Tony Tapsell**  
**Chief Executive Officer**  
20 May 2016

Nominating Council: \_\_\_\_\_

The Council resolved at a meeting held on \_\_\_\_\_ 2016 to nominate the following elected member(s) to the LGANT Executive:

Name of Elected Member	Executive Member
	President
	Vice President – Shire and Regional
	Vice President – Municipal
	Board Member – Municipal
	Board Member – Shire and Regional
	Board Member – All Councils
	Appointed member – City of Darwin

Signed \_\_\_\_\_ / / 2016  
CEO

Please forward completed nomination form and a short biography on each nominee by Friday 5 August 2016 to:

Elaine McLeod  
Executive Assistant to the CEO  
Email: [elaine.mcleod@lgant.asn.au](mailto:elaine.mcleod@lgant.asn.au)  
Fax: 8941 2665

Agenda Item Number:	13.14	Report Number:	16/0161
Report Title:	Submission to Proposed Changes to Local Government Act		
Meeting Date:	20/07/2016	Record Number:	
Attachments:	A Litchfield Council's submission B Consultation Paper: Proposed content of New LG Legislation		

## Summary

This report presents for Council's information and endorsement its submission to the Department of Local Government and Community Services (the Department) on proposed changes to the NT Local Government legislation.

## Recommendations

THAT Council endorses the submission attached to the *Proposed Content of New Local Government Legislation*.

## Background

In late 2014, a review of the Northern Territory Local Government Act ('the Act') was announced and submissions were sought from all stakeholders, including the general public, up until February 2016.

A Local Government Working Party consisting of the Local Government Association of the Northern Territory (LGANT), regional and municipal councils, and Department representatives was formed to consider topics raised in submissions and to make recommendations to the Department and the Minister.

Following the consideration of submissions, a consultation paper on proposed new local government legislation has been circulated to inform stakeholders of intended policy changes and to provide an opportunity for comment. A copy of the Consultation Paper is attached. Submissions closed on 24 June 2016.

Informal discussions regarding the proposed changes to the Act have occurred with Councillors however due to timing, Council's submission was not able to be formally considered by Council prior to its submission. Council's submission is now presented for endorsement.

## Links with Strategic Plan

2. A great place to live

## Legislative and Policy Implications

The current Act has been in place for a number of years and the Department is conducting a comprehensive review of local government legislation. The culmination of the review will be new and improved legislation for local government. Drafting of the legislation is anticipated to commence in late 2016.

## Risks

There are no risks identified with this matter.

## Financial Implications

There are no financial implications identified with this matter.

Recommending Officer: Kaylene Conrick, Chief Executive Officer

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

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24 June 2016

Mr Hugh King  
Manager Legislation and Policy Projects  
Department of Local Government and Community Services  
Northern Territory Government  
GPO Box 2850  
DARWIN NT 0801

Dear Mr King

**Submission: Local Government Legislation Consultation Paper**

Thank you for the opportunity to comment on the proposed content of the New Local Government Legislation.

Council believes that the proposed changes, in general, add value and will contribute to an efficient and effective local government sector for the ultimate benefit of communities across the Northern Territory.

The following comments are provided on the few areas that Council holds either an alternative view or believes that it warrants further explanation or exploration.

**Chapter 3: Planning at the local level**

*Representation reviews*

The proposal is that the NT Electoral Commission will conduct representation reviews and that the final determination will be made by a panel that includes a representative of LGANT and others.

Council strongly believes that under this arrangement it will be important to include meaningful involvement of the council in the process.

A council's formal involvement is key to a sound review process. For example – councils have a good understanding of communities of interest and community culture, important aspects of a representational review which cannot be ascertained from population, geographic and social data.

To ensure that council's engagement is meaningful, councils should have a formal role in the process which should be articulated in the legislation. Litchfield Council believes that this role should include formally commenting on preliminary findings or a draft report prior to any panel consideration and that council's report should be submitted to the panel at the same time the NT Electoral Commission's report is tabled.

Council also believes that the opportunity for council and public submissions to a draft panel recommendation should be provided for prior to any decision made.

### *Core services*

Council does not support the inclusion of core services in the new legislation.

Services should reflect community need and aspirations. Core services could only include local roads, rates and waste management and Council queries the value of this. Council seeks clarification of the problem or issue which has led to the proposal to include core services, is there evidence that some councils are failing to deliver basic services?

## **Chapter 4: Council and its members**

### *Professional development of members*

Council supports the proposal for the legislation to provide that councils must have a professional development policy for members and that council members will complete specified training after each general election.

However, Council does not support the recognition of prior learning (education or work experience) as it firmly believes that the benefits and assurance gained from refresher training and the side-benefit of team building for a new council should be intended consequences all new councils seek.

## **Chapter 5: Local authorities, local boards and council committees**

Local Government (Accounting) Regulations (the Regulations) councils are required to establish an audit committee as part of their internal control framework.

An audit committee is a committee of council under Part 5.2 s (54) Council committees and in accordance with Part 6.3 s (65) must be open to the public.

Council recommends that this is reviewed and that a separate section in the Act is dedicated to the establishment of an audit committee and that the requirement for the meeting be open to the public is deleted.

Council believes that the function of an audit committee is compromised if the public are in attendance. An audit committee must be able to discuss all manner of risks in a fearless and frank manner to effectively advise council.

## **Chapter 6: Meetings**

### *Confidential business*

The proposed requirement for councils to, at least once per year review items previously declared confidential, and decide, according to council policy, whether to release the information included in the confidential business section of meetings, would create an unnecessary administrative burden.

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7 Bees Creek Road, Freds Pass NT 0822 • PO Box 446 Humpty Doo NT 0836 • [www.litchfield.nt.gov.au](http://www.litchfield.nt.gov.au)

ABN: 45 018 934 501

Council believes that the period that a matter should remain confidential should be resolved at the time when the item is considered by council.

Council would like to see this written into the Legislation or Administrative Regulations.

## **Chapter 7: Rights and obligations of members**

### *Conflict of interest*

Council recommends that elected members (and senior staff) be required to complete a register of interest form twice a year, rather than the annual return proposed. Interests can significantly change in a twelve-month period and the requirement to complete a form in January and July (for example) would be a good prompt and safeguard.

The proposal for the new legislation to provide that where a court finds that a member has failed to disclose an interest, the court will also be able to declare a decision void. It is understood that this new proposal is to avoid the need for dual proceedings as is the current arrangement with the Northern Territory Civil Administrative Tribunal (NTCAT) with the power to declare a council decision void.

Council supports this proposal to reduce administrative burden and red tape. However, there remains limitations with this power as a decision generally will have been acted upon, such as the commencement of works or a contract awarded.

## **Chapter 9: Council staff**

### *Conflict of Interest*

It is proposed that the legislation will provide that council chief executive officers and senior staff, who report directly to the chief executive officer must complete an annual declaration of interests.

Council supports this proposal and recommends that the declaration of interests is required twice a year as stated earlier in this submission.

The opportunity also exists for the new legislation to define senior staff.

## **Chapter 11: Rates and charges**

### *Exemptions*

Council submits that land used for residential purpose by a charity or public benevolent institution should be rateable. Council does not believe that there should be a distinction between the type of housing.



## Local Government (Accounting) Regulations

### Quotations and tenders

Council supports the LGAAC recommendation that the threshold value of a supply where a council must obtain tenders be increased from over \$100 000 (including GST) to over \$150 000 (excluding GST).

The proposal for the legislation to provide that where supplies have a value over \$100,000 (including GST) but under \$150 000 (including GST), a public quotation process will be required. The reference to **public** needs clarification and the distinction between a tender and quotation made. A quotation or request for quotation process often involves the identification of a number of suppliers to issue an invitation to quote. It is not understood how a public quotation process differs from a public tender process.

The first paragraph in this section refers to over \$150 000 (**excluding** GST) however the last paragraph refers to a value over \$150 000 (**including** GST), as requiring council to obtain tenders. Clarification is sought on these confusing references.

Again, thank you for the opportunity to comment on the proposed new local government legislation.

Should you have any questions regarding this letter, please contact me on 08 8983 0600 or [kaylene.conrick@litchfield.nt.gov.au](mailto:kaylene.conrick@litchfield.nt.gov.au)

Yours sincerely



Kaylene Conrick  
Chief Executive Officer

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ABN: 45 018 934 501

CONSULTATION PAPER:

# Proposed content of New Local Government Legislation

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## Introduction

The current *Local Government Act* (the Act) has been in place for a number of years and the Department of Local Government and Community Services (DLGCS) is conducting a comprehensive review of local government legislation.

The culmination of the review will be new and improved legislation for local government.

The purpose of this consultation paper is to inform stakeholders of the review's progress and to invite comment on the proposed content of the new legislation. This paper is written in the form that the "new legislation will", but the actual final policy will be dependent on submissions received and government's decision. Drafting of the legislation is anticipated to commence in late 2016.

While the effect of many parts of the current legislation will be retained, this paper highlights the intended differences which would be encompassed in the new legislation.

All comments, including further proposals for change, are welcome and encouraged. Please see information on how to have your say at page 19 below.

## Background

The Act commenced in 2008, bringing local government reforms across the Territory into effect. As the reformed system of local government has developed over recent years, including the introduction of local authorities, the Act has provided a robust regulatory environment. However, local government councils, DLGCS and others have identified areas where the legislation could be strengthened to work effectively for the benefit of Territorians and the sector.

Consultation for the introduction of local authorities involved Territory-wide community consultation with the results fed through to a working group. The working group had extensive stakeholder representation, including representatives from all of the Land Councils.

In late 2014, DLGCS announced a wholesale review of the Act. Consultation continues to be a major focus for this review. Submissions were sought from all stakeholders, including the general public, by April 2015. All sorts of submission were received – from informal phone conversations to formal written submissions. Apart from submissions from individuals, submissions were received from:

- Central Desert Regional Council
- City of Darwin
- Katherine Town Council
- Local Government Accounting Advisory Committee (LGAAC)
- Local Government (Administration and Legislation) Advisory Committee
- Local Government Association of the Northern Territory (LGANT)
- MacDonnell Regional Council
- Northern Territory Electoral Commission
- Victoria Daly Regional Council
- West Arnhem Regional Council

The Local Government Working Party (LGWP) was formed to consider topics identified through the submissions and to make recommendations to DLGCS and the Minister regarding the contents of a new Act. The LGWP had representation from LGANT, regional and municipal councils and DLGCS staff with responsibilities for local government. The LGWP also consulted with the Northern Territory Electoral Commission regarding the electoral provisions in the Act and the *Local Government (Electoral) Regulations*.

The LGWP met four times from mid-2015 until early 2016. In addition, late submissions were consistently encouraged. Issues raised by late submissions were considered by the LGWP right up until early 2016. Any further submissions are still welcome (refer to 'How to have your say' at page 19 below).

DLGCS is largely in agreement with the LGWP's recommendations (which can be found at Attachment A). The LGWP's recommendations form the bulk of the intended changes set out in this consultation paper (in many cases the wording of the intended change is practically the same as the LGWP's recommendation). Where an intended change is not consistent with a recommendation of the LGWP, this is identified.

DLGCS also consulted with, and received recommendations from, LGAAC regarding the content of new *Local Government (Accounting) Regulations*. LGAAC's recommendations can be found at Appendix B. DLGCS agrees with many of LGAAC's recommendations but where an intended change is not consistent with a recommendation of LGAAC, this is also identified.

It should be noted that where proposed changes would require agreement or negotiation with other Agencies, or other Ministerial portfolios, the positions set forward in this paper are subject to such agreement.

Readers should be aware that this paper is concerned with informing stakeholders of intended policy changes and giving everybody an opportunity to comment on the intended policy. Ultimately, the precise wording in the new Act will be a matter for the legislative drafters.

For ease of reference, the intended policy differences from the current regime are set out in accordance with where the relevant provisions currently appear in the Act or Regulations.

## Local Government Act

### Chapter 1: Preliminary

Some definitions will change. Intended changes related to definitions are discussed under chapters where the affected provisions sit.

### Chapter 2: System of local government

#### *Constitutive powers*

While the current Act allows for creation of a new council, there is no provision for a Manager to be appointed prior to elections being held. A Manager is needed to organise elections and open bank accounts to get a new council started. Without a manager to start it off, a new council would be unworkable.

The new legislation will provide that if a new council is created, the Minister must call a general election for the council within 12 months of the gazettal creating a council. The



Minister must also appoint a Manager to manage the affairs of the council until council members are elected. The Manager will have full power to transact any business of the council and do anything the council can do. The Manager will be able to get the council set up with staff, bank accounts, offices and other necessities to enable elected members to take control of a functioning council. This accords with the recommendation of the LGWP (topic 11.5).

### **Chapter 3: Planning at the local level**

#### *Representation reviews*

Currently, a council must review its constitutional arrangements and whether they provide the most effective possible representation for the area, including ward boundaries, at least once in its term.

In line with the recommendation of the LGWP (topic 9.1), the new legislation will provide that representation reviews will be conducted by the Northern Territory Electoral Commission. Final determinations will be made by a panel that includes a representative of LGANT, the Electoral Commissioner (as chair and having a casting vote), the Surveyor-General, and the Auditor-General. The issues for the panel to consider (such as population, geographic and social factors) will be set out within the legislation.

#### *Core services*

Currently there are no core services gazetted by the Minister that regional or shire councils must consider when adopting or renewing their regional or shire plans. Submissions are sought as to whether it would be beneficial for there to be a prescribed list of core services for all councils.

### **Chapter 4: Council and its members**

#### *Conducting commercial business*

Most other Australian jurisdictions either require Ministerial approval before a council can form or participate in a corporation, partnership or other trading body, or require Ministerial approval for expenditure on such activities over a certain amount.

The new legislation will provide that Ministerial approval will be required before a council can form or participate in a corporation, partnership or other trading body. This accords with the recommendation of the LGWP (topic 2.1).

#### *Local government subsidiaries*

Currently, it is optional for the constitution of a local government subsidiary to provide that its liabilities are guaranteed by the constituent council or councils. Under the new legislation this will be a mandatory requirement. This accords with the recommendation of the LGWP (topic 2.3). Councils are expected to be in control of, and take responsibility for, their subsidiaries.

#### *Delegation by council*

As recommended by the LGWP (topic 2.4), the new legislation will make it clear that the power to adopt or amend a budget cannot be delegated by a council.

The legislation will also provide that the power to enter into a transaction that is not of an arm's length nature cannot be delegated. A transaction that was not on commercial terms would not be of an arm's length nature. For example, if a council sold a good or service at significantly less than market value, or provided payment terms of one year for a good or service where the payment terms would usually be for one month, these transactions would not generally be of an arm's length nature. Entering into such a transaction would require a council resolution and could not be decided by council staff.

### *Professional development of members*

As recommended by the LGWP (topic 8.6), the legislation will provide that councils must have a professional development policy for members.

In line with the recommendation of the LGWP (topic 8.5), council members will complete specified training after each general election. For a member who is elected through a by-election, the training will be undertaken within 12 months of election. The training would be for up to two days and could cover topics such as: roles and responsibilities of elected members; relationships with other members, CEO and council staff; council finances and budgets; conflicts of interest; effective meetings; and other relevant subjects. Recognition of prior learning (education or work experience) will be given.

### *Resignation of members*

Currently, a council member may only give up to 14 days' notice of resignation. This can put pressure on a council to arrange a by-election in a short space of time.

The new legislation will provide that a council member may give up to three months' notice when resigning. A by-election may be called within the period of notice, provided the polling day is after the notice period expires. This accords with the LGWP recommendation (topic 8.7).

### *Disqualification*

Currently, a person can be disqualified from being a council member if they fail to discharge a debt to the council for rates or surcharges within six months of the debt being due and payable. It is not clear what proof regarding the debt is required.

As recommended by the LGWP (topic 8.3), the new legislation will provide that disqualification for having an outstanding debt due and payable to council for six months is not triggered unless the debt is evidenced by a court order, i.e. a judgment debt and the person cannot produce a receipt showing that the amount has been paid. This will apply for any type of debt to council (not just rates and surcharges).

A person will be disqualified from being a council member if they are disqualified from managing a corporation under the *Corporations Act 2001* or the *Corporations (Aboriginal and Torres Strait Islander) Act 2006*.

Currently, if a council member is convicted of an offence and is sentenced to a term of imprisonment for one year or more, the member is automatically disqualified under section 37(1)(c) of the Act. If a member is convicted of an offence but not sentenced to a term of imprisonment for one year or more, a decision to remove the member because the conviction makes that member unfit for office can be made by the Minister.

In other Australian jurisdictions removal from office due to conviction for an offence can only occur if:

- an offence specified in the Act has been committed; or
- a court or tribunal orders the removal from office.

The LGWP recommended that where a member is convicted of an offence and is not automatically disqualified, a decision about whether the conviction makes that member unfit for office should be made by NTCAT (topic 8.8). However, this could create practical difficulties in a situation where a member is imprisoned and a council has to wait a number of months for an NTCAT determination before finding out if a by-election is required. Constituents have a right to be represented and deserve a representative that is free to perform his or her role.

It is intended that if a member is convicted of an offence and serves any term of imprisonment, that person will be disqualified from being a member for five years after they are released.

However, if a member is convicted of an offence and does not serve any term of imprisonment (for example, the member is given a suspended sentence), a decision about whether the conviction makes that member unfit for office may be made by NTCAT. If NTCAT dismisses a member it will have the ability to disqualify that person from being a council member for up to five years.

In addition, where a member is convicted of an offence, the member must notify the council CEO of the conviction. If a member fails to notify the CEO of the conviction, the member commits an offence. The CEO must notify DLGCS of the member's conviction.

### *Casual vacancies*

The new legislation will provide that if a casual vacancy occurs within 18 months prior to the next general election, a council will have the option of holding a by-election or co-opting a person to fill the vacancy. In the event that a casual vacancy occurs within six months of the next general election, a council will have the above options as well as the option to not fill the vacancy.

## **Chapter 5: Local authorities, local boards and council committees**

### *Local authority appointments and quorums*

The new legislation will provide that a council must appoint at least one elected member to a local authority. The member(s) for the ward in which the local authority is located and the principal member will not automatically be members of the local authority. A quorum will be the majority of appointed members. (See LGWP recommendation at topic 7.2.)

### *Local boards*

The new legislation will provide that any council may have a local board. (See LGWP recommendation at topic 7.3.)

This differs from the current provisions which exclude regional councils from having local boards.

## Chapter 6: Meetings

### *First ordinary meeting of a council*

The new legislation will provide that after a general election, a council meeting must be held within 21 days. This aligns with the current meeting postponement provision and provides more time than the current 14 day limit. (See LGWP recommendation at topic 3.1.)

### *Notice of council meetings*

The new legislation will provide that a notice convening an ordinary council meeting (including the agenda and relevant business papers) must be published on the council's website and be accessible at the council's public office at least two full business days before the meeting. (See LGWP recommendation at topic 3.4.)

Currently, a notice convening an ordinary meeting must be given to members at least three business days before the date of the meeting, while it must only be accessible on the council's website a 'reasonable time' before the meeting. 'Reasonable time' is not defined. In addition, the current Act requires the notice must be posted on a notice board at the council's public office but there is no specification as to when.

### *Postponement of meetings*

As recommended by the LGWP (topic 11.1), the new legislation will provide that if a quorum is not present for a meeting of a council, council committee, local board or local authority within 30 minutes after the scheduled start time, the meeting may be postponed to a time later that day by:

1. the Chair;
2. if the Chair is not present, the majority of members present; or
3. if no members are present, the CEO or someone authorised by the CEO.

Reasonable efforts must be made to notify all members of the new meeting time. If a meeting is not held later that day, existing requirements will apply and the CEO is responsible for postponing the meeting to a time within the next 21 days.

This will provide clarity and more flexibility than is currently available.

### *Confidential business*

In line with the recommendation of the LGWP (topic 3.5), the new legislation will provide that if a council closes a portion of a meeting to discuss confidential business, the agenda for that meeting must identify the type of matter that is to be discussed in the closed portion of the meeting. Publicly available minutes for that meeting must specify the type of confidential business discussed and which particular section of the legislation was relied upon to keep the matter confidential. Minutes must be kept in respect of the confidential business but the confidential portion of the minutes is not to be publicly available.

Not all matters kept confidential must remain confidential forever. At least once per year councils will review items previously declared confidential, and decide, according to council policy, whether to release the information included in the confidential business section of meetings.

## Chapter 7: Rights and obligations of members

### *Council member allowances*

The new legislation will provide that council members' allowances are to be set by a remuneration tribunal. (See LGWP recommendation at topic 8.1.)

### *Conflict of interest*

In accordance with the LGWP recommendations regarding conflicts of interest and related matters (topics 1.1-1.6), the legislation will require the CEO to keep a register of council members' interests. Members will be required to complete an annual return. The register must be available for inspection by the public but will not have to be on a council's website.

A separate register of relevant gifts and benefits must be kept and each member will be responsible for ensuring the CEO is informed as soon as practicable after a gift or benefit is received.

To assist members with this new requirement, a council must have a policy on gifts and benefits that, among other matters, differentiates between what is given to a member for the council and what is given to a member as a gift or benefit to that member. The legislation will include the parameters of that policy to give councils some guidance.

Responsibility for declaring a conflict of interest during a meeting or on other relevant occasions will remain with the individual member.

Where a member is required to leave a meeting due to a conflict of interest, the member must leave the meeting without any comment on the matter in which they have a conflict.

The following categories of interest will be used to determine what interests should be declared by members of councils, local authorities, council committees or local boards:

Direct interest – occurs when the member is likely to be directly affected if the matter is decided in a particular way.

*Example: a company controlled by the member is tendering for a contract being discussed by council.*

Indirect interest by close association – occurs if an associate of the member has a direct or indirect interest, or a resident of the member's household has a direct interest.

*Example: the member's sibling is suing council and council is considering whether to settle the matter.*

*Example: a resident of the member's household is tendering for a contract being discussed by council.*

Indirect financial interest – occurs if the member is likely to receive a benefit or incur a loss because another person has an interest.

*Example: the member has shares worth \$5 000 in a company that is tendering for a contract being discussed by council.*

Indirect interest because of conflicting duties – occurs if the member is a director, partner, agent, trustee or employee of a person or entity (including a non-profit) that has a direct interest.

*Example: the member is a director of a non-profit entity that is seeking a sponsorship or donation being discussed by council.*

*Example: the member is a director of a non-profit entity that is tendering for a contract being discussed by council.*

Indirect interest because of a gift – occurs if the member received a gift of more than trivial or nominal value in the last three years from a person with a direct interest.

*Example: the member recently received a gift of concert tickets from a local business operator who is negotiating a lease of a property from council.*

Currently, a member who fails to disclose an interest may be prosecuted in court and, if found guilty, a penalty may be imposed. The Northern Territory Civil and Administrative Tribunal (NTCAT), as opposed to a court, may declare a council decision resulting from an undeclared interest, void. To avoid the need for dual proceedings, the new legislation will provide that where a court finds that a member has failed to disclose an interest, the court will also be able to declare a decision void.

### **Code of conduct**

The new legislation will prescribe a code of conduct that applies to elected members of all councils without modification. The prescribed code will be substantially the same as the existing code in schedule 2 of the Act. (See LGWP recommendation at topic 4.3.)

### **Disciplinary proceedings**

The Territory is the only jurisdiction that does not provide for a disciplinary panel to make remedial orders such as requiring someone to attend mediation or counselling.

It is common in other jurisdictions for complaints to be heard by a panel established by the peak body for council members. It is also common in other sectors for complaints to be heard by a panel established by a peak body for those professionals, such as a Law Society or Dental Board. The LGWP recommended that LGANT coordinate a panel to deal with code of conduct complaints (topic 4.1).

The new legislation will provide that where a breach of the code of conduct is alleged:

1. Complaints must initially be directed to the relevant council. The council will seek to resolve the matter according to council policy.
2. If the council cannot resolve the matter, the council may refer the matter to LGANT.
3. LGANT will have a panel constituted of representatives of LGANT and the Director of Legislation and Policy from DLGCS. The LGANT panel may:
  - reprimand a person;
  - order a person to attend training, mediation or counselling; and
  - order a person to make an apology.
4. A party to the complaint can appeal a decision of the LGANT panel to NTCAT and NTCAT will be able to make any order that could be made by the LGANT panel. If a member does not comply with an order from the LGANT panel, LGANT can apply to NTCAT to deal with the failure to comply. In determining such an application, NTCAT will be able to make any order that could be made by the LGANT panel and may also order that the



member be suspended or dismissed. If NTCAT dismisses a member it will have the ability to disqualify that person from being a council member for up to five years.

## **Chapter 8: Elections and polls**

In accordance with the LGWP recommendation (topic 9.3), where a candidate is declared ineligible after an election (and was ineligible at the time of the election), NTCAT will have discretion to order that votes be recounted and that a vote for the ineligible candidate be distributed to the candidate next in order of the voter's preferences on the ballot paper.

Please note that intended changes to the *Local Government (Electoral) Regulations* are set out below on page 17.

## **Chapter 9: Council staff**

### *Remuneration policy*

In accordance with the LGWP recommendation (topic 5.3), councils will be required to have a remuneration policy for all staff, including the CEO.

### *CEO recruitment*

As recommended by the LGWP (topic 5.4), the new legislation will set out compulsory due diligence steps that must be taken before a CEO may be appointed, including but not limited to:

- a. written references covering a shortlisted applicant's past three years of work history must be obtained from the applicant's manager or supervisor;
- b. positions must be advertised externally;
- c. qualifications and professional memberships must be verified; and
- d. a criminal history check must be conducted.

Contracts for new CEOs must include a probation period and a review of the CEO's performance must be undertaken before the end of the probation period. A CEO will be set performance criteria for his or her probation period and the review of the CEO must consider his or her performance against those criteria. The review must be undertaken by a panel that includes a person independent from council (unless DLGCS approves an exemption). The independent person on the review panel must be approved by LGANT.

### *CEO responsibilities*

Currently CEOs are required to appoint staff in accordance with a staffing plan. However, there are different understandings of what a staffing plan actually means.

In accordance with the LGWP recommendation (topic 5.3), the requirement to appoint staff in accordance with a staffing plan will no longer be compulsory. Instead, a CEO will be required to keep council expenditure on staff within an approved staffing budget, as well as having to keep other expenditure within an approved non-staffing budget (all other operational and capital expenditure).

The legislation will explicitly require CEOs to ensure that spending does not exceed the budget adopted or amended by council.

### *Conflict of interest*

The legislation will provide that council CEOs and senior staff who report directly to the CEO must complete an annual declaration of interests, using a prescribed form similar to that used by Northern Territory Public Sector CEOs and executives. The current requirement that all staff members (including the CEO) disclose a conflict of interest when it arises will remain. These interests and conflicts must be recorded on a non-public register. (See LGWP recommendation at topic 5.1.)

## **Chapter 10: Financial management**

There are no anticipated changes to the requirements under this chapter. Please note that intended changes to the *Local Government (Accounting) Regulations* are set out below on pages 15-17.

## **Chapter 11: Rates and charges**

### *Conditional rating*

Submissions were received that suggested the removal of conditional rating. The LGWP did not reach a consensus regarding conditional rating, however a significant number of the LGWP members supported the following recommendations (topic 6.4):

- Conditional rating must be removed and all rateable land must be subject to general and special rates; and
- In the event that conditional rating remains, where land is held under a pastoral lease or mining tenement but is used for two or more different purposes, including a commercial activity that is not pastoral or mining, the land is to be rateable rather than conditionally rateable.

While there is no intention to remove or change conditional rating provisions, the legislation will align the definition of 'mining tenement' with titles described in the *Mineral Titles Act*. (See LGWP recommendation at topic 6.1)

### *Exemptions*

The LGWP recommended (topic 6.2) that there not be any exemption from rates for land used for residential purposes by a charity or public benevolent institution. Further consideration will be given to the effect of such a change and whether it should be confined to certain types of housing, for example, staff housing. Submissions are invited on this particular issue.

### *All rateable land must be rated*

In line with the recommendation of the LGWP (topic 6.9), the legislation will make it explicit that a council must rate all rateable land within its area.

### *Assessment record*

Currently a copy of the assessment record must be available for inspection, free of charge, by any member of the public. In dealing with information available to the public, it is important that the principles of both freedom of information and protection of privacy are carefully balanced.

In accordance with the LGWP recommendation (topic 6.6), it is intended that the public will be able to inspect or obtain copies of all or part of the assessment record and councils may charge a fee for the provision of this service. No fee is to be payable for inspecting or obtaining copies of part of the record for land by:

- an owner, occupier or lessee of the land or of adjoining land;
- an agent of an owner, occupier or lessee of the land or of adjoining land; or
- a Northern Territory Government agency.

Councils must redact personal information (name, contact details, postal address, etc.) from any copies of the record inspected or provided unless the person seeking the copy of the record is an owner, occupier or lessee of the land; an agent of an owner, occupier or lessee of the land; or a Northern Territory Government agency. The proposed rules concerning personal information differ slightly from the recommendation of the LGWP and are intended to provide clear direction for council staff.

The requirement for a CEO to suppress a person's name and address on request will be retained.

## **Chapter 12: Council property**

There are no anticipated changes to the requirements under this chapter.

## **Chapter 13: Regulatory powers**

### *By-laws*

The legislation will explicitly provide that by-laws may not operate retrospectively or impose a tax.

## **Chapter 14: Reporting and public disclosure**

### *Public availability of information*

The Act sets out the time that information that must be publically available on council websites. The *Local Government (Accounting) Regulations* require a notice of a successful tender to be published on a council's website but do not give a timeframe.

The legislation will provide that a notice of a successful tender must remain on a council's website for a minimum of three years after the financial year in which the tender was awarded.

## **Chapter 15: Compliance reviews and investigations**

### *Investigations*

Similarly to other Australian jurisdictions, it is intended that inspectors of local government appointed under the Act will have a general power to investigate the administration of the Act. Investigations will not connote a suggestion of wrongdoing.

### *Commencing proceedings to recover loss*

The current Act provides that DLGCS may, if satisfied that a council has suffered a loss as a result of an irregularity and that the loss is recoverable in court, bring an action in the name of the council to recover the loss. The provision has not been used. The new legislation will omit this provision. (See LGWP recommendation at topic 11.2.)

### *Surcharges*

The current Act allows a council to impose a surcharge on a person for the council's loss if DLGCS is satisfied that the council suffered loss as a result of dishonesty or serious illegality by the person. The existing surcharge provision reverses the onus of proof in legal proceedings to recover a loss. The onus of proof should only be reversed where there are compelling public policy reasons for doing so. The provision has not been used.

In accordance with the recommendation of the LGWP (topic 11.3), the new legislation will not have such a provision. Where it is suspected that a council has suffered a loss due to dishonesty or illegality, a court or tribunal must find that the allegation is proved before a person is held liable for a council's loss.

## **Chapter 16: Inquiries**

There are no anticipated changes to this chapter.

## **Chapter 17: Defaulting councils**

### *Official management*

The new legislation will provide that the Minister must make a decision to either reinstate or dismiss the suspended members within 12 months after the council has been placed under official management. Dismissal would then automatically trigger a general election.

## **Chapter 18: Review and appeal**

### *Administrative review committee*

Currently the initial application for review must be made within 14 days of the decision, which is significantly shorter than the equivalent time periods in other Australian jurisdictions. Under the new legislation, the time for making an initial application for a review will be within 28 days of the decision.

## **Chapter 19: Miscellaneous**

### *Offences*

In accordance with the recommendation of the LGWP (topic 10.2), under the new legislation the offence for making a misleading representation will:

- extend to representations made to local authorities;
- extend to representations made to an inspector under the Act; and
- not require an intention to gain an advantage or cause a detriment, but instead require that a written or oral statement is false or misleading in a material particular.

Further, as recommended by the LGWP (topic 10.1), the corruption and 'abuse of office' offences in the *Northern Territory Criminal Code* that apply to public servants will also apply to council staff.

### *Service of documents*

The legislation will clarify that councils may serve notices electronically where the recipient has consented to the particular means of electronic communication. (See LGWP recommendation at topic 6.3.)

## Local Government (Accounting) Regulations

### Financial administration

To reduce red tape, the new legislation will specify that an accounting and policy manual must include (but is not limited to) the following:

- the council's accounting policies and procedures;
- the council's internal control policies and procedures;
- the council's fraud protection plan;
- a statement of the duties and responsibilities of the CEO and other officers;
- details of all delegations; and
- any other information required in a guideline issued by the Minister.

This is less prescriptive than current regulation 9(2).

### Budget and allocation of money

Currently the Regulations provide that a council must not budget for a deficit and that a deficit occurs if overall expenditure for a financial year (disregarding depreciation) exceeds income. LGAAC have recommended that the depreciation exception be extended to all non-cash expenditure.

Even if LGAAC's recommendation is taken up, this may not remove the potential issue where a council receives grant funding at the end of a financial year but does not expend some or all of the funds until the next financial year. The Australian Accounting Standards generally require the funds to be recognised as income in the year they are received. This can create a situation where a council will have a deficit in a year because it expends funds carried forward from the previous year.

In order to address such situations and to broaden the depreciation exception when calculating overall expenditure in a financial year, it is intended to expand the exception to include depreciation, amortisation, asset write downs and the expenditure of carried forward tied grant funding.

It is intended that the restriction under regulation 14 regarding allocation of money will be replaced by a restriction to the effect that a council cannot allocate (commit) money that has not been budgeted for in an adopted or amended budget, unless the expenditure:

- has been approved by council resolution; or
- is within the terms of a grant accepted by council or its delegate (and such spending is reported to council at the earliest opportunity); and

- the budget is adopted or amended at the earliest opportunity.

LGAAC also recommended that another exception should be where the expenditure was within the terms of a commercial contract entered into by council (and such spending is reported to council at the earliest opportunity). A council may resolve to try and enter into a contract and to expend money in the event that the contract is entered into. Expenditure not resolved by council or outside of a budget approved by council should be minimised as far as possible. For those reasons, it is not intended that a 'contract exception' be created.

With the above restrictions in place, the requirement that unbudgeted spending does not exceed 25 per cent of expected budgetary provision will be unnecessary. Accordingly, it is intended that this requirement will be removed.

### **Annual financial statement**

In order to reduce red tape, it is intended that the current requirements for a council's annual financial statement will be replaced and a council's annual financial statement will have to:

- comply with the Australian Accounting Standards;
- include rates collected; and
- state the nature (capital or operating) and amounts of grants and subsidies received and identify the grantors.

### **Financial reports to council**

Currently, the financial report that the CEO must lay before a meeting of council (or a council finance committee) each month requires, among other things, a statement of the debts owed to council and an indication of the age of the debts. There is no requirement that the debts owed **by** council are included in the report. To enhance transparency, it is intended that the monthly report must include the following information about debtors and creditors:

- total debts owed to council (other than rates) categorised by age – 30 days, 60 days and 90 or more days;
- total rates owed to council categorised by financial year (e.g. 2014-15, 2015-16, 2016-17); and
- total debts owed by council categorised by age – 30 days, 60 days and 90 or more days.

### **Authorised accounts and expenditure**

Cheques issued on behalf of council must be signed by at least two people and electronic disbursements from an authorised account of council must be processed by at least two people.

The legislation will provide that the CEO is authorised to sign cheques and process electronic disbursements. The CEO, rather than council, will be responsible authorising other council staff members, or staff members of a subsidiary, to sign cheques and process electronic disbursements. In the event that a staff member of a subsidiary has been authorised by the CEO for this purpose, any cheque signed or electronic disbursement processed by that person must also be signed or processed by the CEO or an authorised member of the council's staff.

The intended changes are similar to the recommendation of the LGWP (topic 11.6) but also allow for a staff member of a subsidiary to assist a council in making payments.



## **Property**

The legislation will explicitly require councils to undertake regular stocktakes of council property, ensuring that all categories of council property are the subject of a stocktake at least once every three years.

## **Quotations and tenders**

LGAAC has recommended that the threshold value of a supply where a council must obtain tenders be increased from over \$100 000 (including GST) to over \$150 000 (excluding GST).

The legislation will provide that where supplies have a value over \$100 000 (including GST) but under \$150 000 (including GST), a public quotation process will be required. Where supplies have a value over \$150 000 (including GST), a council must obtain tenders.

## **Local Government (Administration) Regulations**

### **Confidential information**

As recommended by the LGWP (topic 3.7), classes of confidential information for council meetings will include advice in anticipation of litigation or advice that would otherwise be privileged from production in legal proceedings on the ground of legal professional privilege.

## **Local Government (Electoral) Regulations**

### **Tied candidates**

To minimise instances where lots are drawn to decide the outcome of an election, where two candidates remain in the count and have the same number of votes, all preceding counts/transfers will be able to be used to determine which candidate is elected (i.e. the candidate with larger number of votes at last count or transfer is elected, if votes are even at that last count/transfer then the second to last count/transfer can be used, and so on).

### **Death of a candidate**

Currently if any candidate dies before polling day, a vote for the deceased candidate is distributed to the candidate next in order of the voter's preferences on the ballot paper. There is always a possibility that someone may not have stood as a candidate because of the popularity of the deceased candidate who was running, particularly where the deceased candidate was running for the principal member position.

As recommended by the LGWP (topic 9.2), if a principal member candidate dies after nominations are declared and prior to the declaration of results, the election for the principal member will fail and a new election will be held.

### **Postal voting**

In order to maximise opportunities to vote in council elections, it is intended to extend the deadline to receive postal votes by one week, until the second Friday after polling day.

## How to have your say

The general public, local government sector and other industry sectors are encouraged to provide written comments on any of the intended content for the new Act. Please provide any comments by 24 June 2016. Comments may be emailed to [localgovernment.dlgcs@nt.gov.au](mailto:localgovernment.dlgcs@nt.gov.au).

Should you require further information in relation to this consultation paper, please contact Hugh King, Manager Legislation and Policy Projects by email ([hugh.king@nt.gov.au](mailto:hugh.king@nt.gov.au)) or telephone (08 8995 5118).

# Appendix A – Recommendations of the Local Government Working Party

## Introduction

To commence the review of the *Local Government Act* (the Act), in late 2014 the Department of Local Government and Community Services (DLGCS) invited submissions from stakeholders and the general public on changes to the *Local Government Act* to ensure it is working effectively for the benefit of local people and the sector generally. The initial cut-off date for submissions was 30 April 2015 but late submissions have been accepted.

The Local Government Working Party (LGWP) was established with representation from regional and municipal councils, the Local Government Association of the Northern Territory (LGANT) and DLGCS staff with responsibilities for local government.

The LGWP made recommendations to DLGCS and the Minister regarding possible changes to the Act on all the topics it considered. All the recommendations of the LGWP are set out within this document.

## Working Party Members<sup>1</sup>

Chair: Damien Ryan (President – LGANT; Mayor – Alice Springs Town Council)

Brendan Dowd (CEO – City Of Darwin)

Chris Kendrick (Director Corporate Services – MacDonnell Regional Council)

Tony Tapsell (CEO - LGANT)

David Willing (Executive Director Local Government – DLGCS)

Lee Williams (Director Legislation and Policy – DLGCS)

Nathanael Knapp (Regional Manager, Big Rivers Region – DLGCS)

Hugh King (Manager Legislation and Policy Projects – DLGCS)

## Recommendations

### Topic 1: Conflict of Interest

1. A register of council members' interests must be kept. This would involve an annual return by members. The register must be available to the public but would not have to be on a council's website.
2. A register of relevant gifts and benefits must be kept that is separate to the register of council members' interests.
3. Councils must have a policy on gifts and benefits that, among other matters, differentiates between what is given to a member for the council and what is given to a member as a gift or benefit to that member. The Act or Regulations must include the parameters of that policy to give councils some guidance.

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<sup>1</sup> Some members were represented by proxy at one or more meetings.

4. Responsibility for declaring a conflict of interest during a meeting or on specific occasions must remain with the individual member.
5. Where a member is required to leave a meeting due to a conflict of interest, the member must leave the meeting without making statements or answering questions regarding the matter in which they have a conflict.
6. The following categories of interest must be used to determine what interests should be declared by members of councils, local authorities, council committees or local boards:

Direct interest – occurs when the member is likely to be directly affected if the matter is decided in a particular way.

*Example: a company controlled by the member is tendering for a contract being discussed by council.*

Indirect interest by close association – occurs if an associate of the member has a direct or indirect interest, or a resident of the member's household has a direct interest.

*Example: the member's sibling is suing council and council is considering whether to settle the matter.*

*Example: a resident of the member's household is tendering for a contract being discussed by council.*

Indirect financial interest – occurs if the member is likely to receive a benefit or incur a loss because another person has an interest.

*Example: the member has shares worth \$5 000 in a company that is tendering for a contract being discussed by council.*

Indirect interest because of conflicting duties – occurs if the member is a director, partner, agent, trustee or employee of a person or entity (including a non-profit) that has a direct interest.

*Example: the member is a director of a non-profit entity that is seeking a sponsorship or donation being discussed by council.*

*Example: the member is a director of a non-profit entity that is tendering for a contract being discussed by council.*

Indirect interest because of a gift – occurs if the member received a gift of more than trivial or nominal value in the last 3 years from a person with a direct interest.

*Example: the member recently received a gift of 5 boxes of chocolates from a local business operator who is negotiating a lease of a property from council.*

## **Topic 2: Council as a Body Corporate**

1. Ministerial approval is required before a council can form or participate in a corporation, partnership or other trading body.
2. Current restrictions on changes to the constitution of a local government subsidiary must be maintained.
3. The constitution of a local government subsidiary must provide that its liabilities are guaranteed by the constituent council or councils.
4. The power to adopt or amend a budget must not be able to be delegated.

5. The Act must ensure that delegation and sub-delegation powers are clear.

### **Topic 3: Council Meetings**

1. The maximum period for holding a meeting after a general election must be extended to 21 days, which aligns with the current meeting postponement provision.
2. Frequency of meetings must remain at a minimum of one in every two months.
3. The rule that a member present at a meeting (including the chair) must exercise his or her vote should not be changed.
4. A notice convening an ordinary council meeting (including the agenda and relevant business papers) must be published on the council's website and be accessible at the council's public office at least two business days before the meeting. For example, the legislation should ensure that for a Tuesday meeting, the papers are required to be accessible on the Friday before the meeting.
5. If a council intends to close a portion of a meeting to discuss confidential business, the agenda for that meeting must identify the type of matter that is to be discussed in the closed portion of the meeting. Publicly available minutes for that meeting must specify the type of confidential business discussed, which particular section of the legislation was relied upon to keep the matter confidential and why it was in the public interest for a portion of the meeting to be closed. Minutes must still be kept in respect of the confidential business but the confidential portion of the minutes is not to be publicly available.
6. There must be a review period, at least once a year, for maintaining the confidentiality of the information included in the confidential business section of meetings in accordance with council policy. For example, contracts and agreements may lose confidentiality over time but information on financial hardship of ratepayers would generally remain confidential.
7. Classes of confidential information must also include advice in anticipation of litigation or advice that would otherwise be privileged from production in legal proceedings on the ground of legal professional privilege.
8. There are not to be motions of no confidence.

### **Topic 4: Code of Conduct**

1. The current disciplinary proceedings must be replaced with the following processes:
  - a. Complaints must initially be directed to the relevant council. The Council would seek to resolve the matter.
  - b. If the Council cannot resolve the matter or wishes not to, the Council can refer the matter to LGANT.
  - c. LGANT would have a panel constituted of representatives of the Department of Local Government and Community Services, The Department of the Attorney-General and LGANT. The LGANT panel may:
    - reprimand a person;
    - order a person to attend training, mediation or counselling (at the council's expense);
    - order a person to make an apology; and/or

- refer the matter to the Department if it is an appropriate matter for an investigation under section 208 of the Act.
- d. If a person does not comply with an order from the LGANT panel, the matter may be referred to NTCAT, which may make any order that could be made by the LGANT panel and may also order that the member be suspended or dismissed.
2. Councils must have a code of conduct complaint resolution policy.
  3. To encourage consistent disciplinary processes and outcomes throughout the Territory, the Act must prescribe a code of conduct that applies to elected members of all councils without modification. The code prescribed should be substantially the same as the existing code in schedule 2 of the Act.

### Topic 5: CEO

1. Council CEOs and senior staff who report directly to the CEO must complete an annual declaration of interests, using a prescribed form similar to that used by Northern Territory Public Sector CEOs and executives. The current requirement to disclose conflicts of interest must remain. These interests and conflicts must be recorded on a non-public register.
2. Council CEOs must be required to ensure that spending does not exceed the budget adopted or amended by council. This clarifies current practice.
3. Instead of being required to appoint staff in accordance with a staffing plan, a CEO must be required to keep council expenditure on staff within an approved staffing budget, as well as having to keep other expenditure within an approved non-staffing budget (all other operational and capital expenditure). A council must also be required to have a remuneration policy that covers all council staff.
4. Regulations or guidelines under the Act must set out compulsory due diligence steps that must be undertaken before a CEO can be appointed, including, but not limited to:
  - a. written references covering a shortlisted applicant's past three years of work history must be obtained from the applicant's manager or supervisor;
  - b. positions must be advertised externally;
  - c. qualifications and professional memberships must be verified; and
  - d. a criminal history check must be conducted.
5. Contracts for new CEOs must include a probation period and a review of the CEO's performance must be undertaken before the end of the probation period. A CEO is to be set performance criteria for his or her probation period and the review of the CEO must consider his or her performance against those criteria. The review must be undertaken by a panel that includes a person independent from council (unless the Department approves an exemption). The person independent from council on the review panel must be approved by LGANT.

### Topic 6: Rates

1. The definition of 'mining tenement' should be amended to align with the *Mineral Titles Act*.
2. There must not be any exemption from rates for land used for residential purposes by a charity or public benevolent institution. "Non-commercial purpose" in section 144(1)(f) should be clarified and tightened.



3. The Act should expressly clarify that councils may serve notices electronically where the recipient has consented to the particular means of electronic communication.
4. The LGWP did not reach a consensus regarding conditional rating, however the following recommendations were supported by a significant number of the LGWP members:

Conditional rating must be removed and all rateable land must be subject to general and special rates.

In the event that conditional rating remains, where land is held under a pastoral lease or mining tenement but is used for two or more different purposes, including a commercial activity that is not pastoral or mining, the land is to be rateable rather than conditionally rateable.

6. The public must continue to be able to obtain copies of all or part of the assessment record and council may charge a fee for the provision of this service. No fee is to be payable for obtaining copies of part of the record for land by:
  - an owner, occupier or lessee of the land or of adjoining land;
  - an agent of an owner, occupier or lessee of the land or of adjoining land; or
  - a Territory Government agency.

Councils must redact personal information (name, contact details, postal address, etc.) from copies of the record unless:

- the person seeking the copy of the record is an owner, occupier or lessee of the land; an agent of an owner, occupier or lessee of the land; or a Territory Government agency; or
- for any other person, that person makes a written application in the form of a statutory declaration and provides a legitimate reason for wanting the personal information. For example, if an applicant wanted the personal information for marketing reasons, this would generally be legitimate, i.e. not illegal. However, if the applicant did not provide a reason or provided a reason which raised concerns of illegality (e.g. violence against a former partner), council would have the discretion not to release the personal information.

A council's decision not to provide requested personal information would be a reviewable decision.

The ability for someone to require that their name and address is suppressed must be retained.

7. Councils must not have rate increases capped.
8. Councils' existing ability to declare special rates at any time must remain.
9. A Council must rate all rateable land within its area.

## **Topic 7: Meetings of Local Authorities, local boards and council committees**

1. Guideline 8 should be amended so that local authorities only have to meet a minimum of four times per year.
2. Principal members and ward members are not to automatically be local authority members. A council must appoint one or more elected members to the local authority. A quorum is the majority of appointed members.
3. The local board concept should not be limited to municipal or shire councils only and should be extended to regional councils.

4. Recommended amendments to the conflict of interest provisions for council members (annual disclosure of all interests, etc.) are not intended for members of local authorities, local boards or council committees. Otherwise, unnecessary red tape could be created. Accordingly, current conflict/disclosure of interest requirements in the Act must continue to apply to members of local authorities, local boards or council committees. However, the Act must clarify that these are minimum standards. For example, in the event that a council wanted to impose stricter requirements for members of a particular committee, such as requiring full disclosure of interests by the committee members, it would be free to do so.
5. All local authority members should be paid the same allowance for attending meetings, irrespective of any employment they have.

### **Topic 8: Terms and Conditions of Membership**

1. Members' allowances must be set by the Remuneration Tribunal established under the *Assembly Members and Statutory Officers (Remuneration and Other Entitlements) Act*.
2. A member must be disqualified if they are disqualified from managing a corporation under the *Corporations Act 2001* (Cth).
3. Disqualification for having an outstanding debt due and payable to council for six months is not to be triggered unless the debt is evidenced by a court order, i.e. a judgment debt. This applies for any type of debt to council (not just rates and surcharges).
4. Suspended members must not be paid allowances.
5. Council members must complete specified training after each general election. For a member who is elected through a by-election, the training must be undertaken within 12 months of election. The training could cover topics such as: roles and responsibilities of elected members; relationships with other members, CEO and council staff; council finances and budgets; conflicts of interest; effective meetings; and other relevant topics. Recognition of prior learning (education or work experience) would be given.
6. Councils must have a professional development policy for members.
7. A council member must be able to give up to three months' notice when resigning. A by-election could be called within the period of notice, provided the polling day is after the notice period expires.
8. If a member is convicted of an offence and is not sentenced to a term of imprisonment for one year or more and automatically disqualified under section 37(1)(c), a decision about whether the conviction makes that member unfit for office should be made by the Northern Territory Civil and Administrative Tribunal (NTCAT).

If NTCAT dismisses a member it must have the ability to disqualify that person from being a council member for up to five years.

### **Topic 9: Elections**

1. Representation reviews must be conducted by the Electoral Commission and final determinations made by a panel that includes the Electoral Commissioner (as chair and having a casting vote), the Surveyor-General, the Auditor-General and a representative of LGANT. The issues for the panel to consider must be set out within the Act.
2. An election for a principal member must be deemed to fail if a principal member candidate dies after nominations are declared and prior to the declaration of results.

3. The Northern Territory Civil and Administrative Tribunal must have wide discretionary powers where an elected candidate is declared ineligible after an election. Such powers should be clearly identified in the Act. This would include the ability to order that votes be recounted and that a vote for the ineligible candidate be distributed to the candidate next in order of the voter's preferences on the ballot paper.

### Topic 10: Offences

1. The corruption and 'abuse of office' offences in the Northern Territory Criminal Code that apply to public servants must apply to council staff.
2. The offence for making a misleading representation must:
  - extend to representations made to local authorities;
  - extend to representations made to an inspector under the Act; and
  - not require an intention to gain an advantage or cause a detriment, instead require that a written or oral statement is false or misleading in a material particular (or words of equivalent effect).

### Topic 11: Miscellaneous

1. If a quorum is not present for a meeting of a council, council committee, local board or local authority within 30 minutes after its scheduled start time, the meeting must be able to be postponed to a time later that day by:
  - a. the Chair;
  - b. if the Chair is not present, the majority of members present; or
  - c. if no members are present, the CEO or someone authorised by the CEO.

Reasonable efforts must be made to notify all members of the new meeting time. If a meeting is not held later that day, existing requirements apply and the CEO is responsible for postponing the meeting to a time within the next 21 days.

2. A council must be wholly responsible for commencing civil proceedings to recover its own loss.
3. The Department must not make a decision, for the purpose of allowing a council to surcharge a person, about whether it is satisfied that a person acted dishonestly or illegally. Where it is suspected that a council has suffered a loss due to dishonesty or illegality, a court or tribunal must find that the allegation is proved before a person is held liable for a council's loss.
4. Territory councils' existing powers to enter property must not be expanded.

As there is a significant risk that a definition could limit the powers in an emergency situation, the word 'emergency' must not be defined.
5. For a new council, the Minister must be able to appoint an official manager who will act as the council until the results of the first election are declared. The polling day for the first election must be set by the Minister and occur within 12 months of the council being established.
6. Authorisations by a council under regulation 20 of the *Local Government (Accounting) Regulations*, to sign cheques or process electronic disbursements on council's behalf, are to be given to the CEO and council staff, not elected members. The CEO is to be automatically authorised and the CEO, rather than council, must be responsible for other authorisations.

## Appendix B – Local Government Accounting Advisory Committee Recommendations

### Information about LGAAC

The Local Government Accounting Advisory Committee (LGAAC) is established under the Local Government (Accounting) Regulations. Its role is to provide advice to the Minister and DLGCS on:

- contemporary financial management and accounting practices relevant and appropriate to local government; and
- appropriate legislative changes necessary to improve standards of local government financial management and accounting.

Current members of LGAAC are:

- Chair: Chris Kendrick (MacDonnell Regional Council)
- Deputy Chair: Miles Craighead (City of Darwin)
- Tony Tapsell (LGANT)
- Diana Leeder (City of Darwin)
- Greg Arnott (Roper Gulf Regional Council)
- Lawrence Autencio (Merit Partners)
- Matthew Kennon (Merit Partners)
- Muhammad Waqas (West Arnhem Regional Council)
- Meeta Ramkumar (DLGCS)
- Jocelyn Nathanael-Walters (DLGCS)

### Recommendations

#### Membership of LGAAC

LGAAC should have:

- 2 members appointed by the Department who are employees of the Department and responsible for local government;
- 2 members appointed by LGAAC with suitable accounting qualifications;
- 2 members appointed by LGANT;
- 2 members appointed by Local Government Professionals NT Incorporated (formerly Local Government Managers Australia); and
- up to 2 further members appointed by the Minister who work in local government.

In the event that the above recommendation is not accepted, LGAAC's alternative recommendation is that no change should be made to the current membership structure.

LGAAC should appoint its own chair every 12 months, with an existing chair able to be re-appointed.

The appointment process for LGAAC members should reflect the streamlined process used for the Local Government (Administration and Legislation) Advisory Committee and ensure a balanced mix between representatives from regional or shire councils and representatives from municipal councils.

### **Prescribed reporting formats**

Council annual financial statements should:

- comply with the Australian Accounting Standards;
- include rates levied; and
- state the nature (capital or operating) and amounts of grants and subsidies received and identify the grantors.

Other requirements in regulation 15 should be removed. The ABS Local Government Purpose classification information would still be required to be provided to the NT Grants Commission but does not need to be part of the annual financial statement (noting that the accounting standards still require function reporting).

### **Accounting policy manual**

Instead of the list of requirements set out in regulation 9(2), the regulations should require that a council must maintain an accounting and policy manual that conforms to the minimum standards in any relevant Minister's guideline issued by the Department.

### **Finance committee meetings**

Where a council normally meets monthly but its monthly meeting is postponed to another month or cancelled, there should not be any compulsory requirement that the council have a finance committee meet during that month.

### **Allocation of money**

The current requirement that a council must adopt a budget for a financial year by July 31 of the financial year should not be changed.

The restrictions under regulation 14 should be replaced by a restriction to the effect that a council cannot allocate (commit) money that has not been budgeted for in an adopted or amended budget, unless the spending:

- has been approved by council resolution;
- is within the terms of a grant accepted by council or its delegate (and such spending is reported to council at the earliest opportunity); or
- is within the terms of a commercial contract won by council (and such spending is reported to council at the earliest opportunity).

The requirement under regulation 14(2) that unbudgeted spending does not exceed 25 per cent of expected budgetary provision should be removed.

### **Stocktake of property**

Councils should carry out regular stocktakes of council property, ensuring that all categories of council property are the subject of a stocktake at least once every three years.

### **Tendering and procurement**

Tenders should be invited for a contract over \$150 000 (GST exclusive). The regulations should indicate that the amount is GST exclusive.

Written quotations should be required for obtaining supplies at a cost of more than \$10 000 (GST exclusive). The regulations should indicate that the relevant amount is GST exclusive.

### **Deficit budgeting**

Non-cash expenditure should not be included in the calculation of a deficit in regards to budgeting.

### **General instructions**

Matters currently covered by general instructions should be included in the Regulations.



Agenda Item Number:	13.15	Report Number:	16/0162
Report Title:	Aquatic Leisure Facility Community Needs Project Update		
Meeting Date:	20/07/2016	Record Number:	LITCHFIELD-1174427650-288904
Attachments:			

### Summary

This report provides Council with information about the progress of the Litchfield Aquatic Leisure Facility Community Needs Analysis, outlining key information about the project scope, and the consultation and engagement with key stakeholders and the wider Litchfield community. It also outlines how Councillors will be kept informed about and involved in the development of the project.

### Recommendations

THAT Council receive the Litchfield Aquatic Facility Community Needs Analysis report.

### Background

At its meeting on 16 March 2016, Council resolved to complete an Assessment of Community Need for an aquatic leisure facility in Litchfield. Since this time, Council has been successful in obtaining funding from the Northern Territory Government to complete the Community Needs Analysis. A total of \$40,000 has been secured through the Boosting Our Economy Program.

In addition, Council has engaged Michelle Read: Planning for Communities to develop a brief for the project, and identify consulting firms with the capability to deliver this project for Council. Council will implement a select quotation process, inviting consulting firms with strong demonstrated experience in community needs analysis for aquatic leisure infrastructure and contemporary consultation and engagement practices. The project scope includes:

1. Reviewing previous planning work completed by Council and other key stakeholders, to understand how an aquatic facility helps to deliver on existing strategic directions and priorities.
2. An Analysis of current and projected demographic characteristics for the Litchfield community, and how these will influence current, future and latent demand for an aquatic facility, the types of programs, activities and facilities a community may wish to access, and the capacity of the community to pay.
3. An assessment of aquatic leisure participation and facility development trends, and how these are relevant to the Litchfield community and the development of an aquatic facility.
4. Analysis and mapping of other aquatic leisure, health and wellbeing opportunities around the Litchfield community (both existing and planned), including where they are located, the communities and target markets they serve/will serve, any evidence of gaps in the aquatic leisure, health and wellbeing market, and how this will impact upon demand for an aquatic facility in the Litchfield area.
5. A comprehensive program of consultation and engagement with key stakeholder organisations and the wider Litchfield community.
6. Identifying and examining opportunities to partner with other agencies and organisations to deliver aquatic leisure, health and wellbeing outcomes, particularly those that may be

generated through population growth and/or the development of community or health infrastructure.

7. Identifying and critically assessing possible sites to locate an aquatic leisure facility.
8. Identifying funding opportunities and models for development of an aquatic facility.
9. Preparation of Draft and Final Reports clearly outlining the findings and documenting a recommended approach for Council.

A central component of the Needs Analysis will be the consultation and engagement with key stakeholders and the wider Litchfield community. A balanced approach will be important to help ensure the community has realistic expectations about what Council is able to achieve, and also explores community aspirations and needs for aquatic leisure, health and wellbeing opportunities. Stakeholders will include:

- Councillors
- Council officers
- Northern Territory Government
- Neighbouring municipalities
- Sport and recreation organisations (eg: sporting clubs, scouts, playgroups).
- Schools and the education sector
- Health practitioners and service providers
- Aged care providers
- Seniors organisations
- Youth Service providers
- Disability care providers
- The wider Litchfield community.

The consultation program will be developed together with the appointed consulting firm, but consultation tools may include targeted workshops or focus groups, pop up consultation sessions in community places, a community survey available online and in key locations, and one on one discussions with key stakeholder organisations.

As key stakeholders, three briefings / workshops will be held with Councillors throughout the project. The timing of these will be confirmed once a consulting firm is appointed. In addition, monthly updates will be provided to Councillors throughout the life of the project.

The broad timeframes for the project are outlined below. These will be subject to confirmation of an agreed timetable with the appointed consulting firm.

Activity	Timeline
Quotation process and appointment of consulting firm	July / August 2016
Commencement of consultancy.	Late August 2016
First Councillor Briefing Session - Project outline, proposed Consultation and Engagement Plan, and explore Councillor expectations about the project.	8 September 2016

Detailed Community Consultation and Engagement Plan finalised.	Mid-September 2016
Background Research completed and written report provided.	Mid-October 2016
Community Consultation and Engagement occurs	Mid-October to mid-November 2016
Second Councillor Briefing Session – Present key background research material, outline any preliminary messages coming through the community consultation, and consult with councillors about the proposed facility.	3 November 2016
Community Consultation and Engagement Report provided to Council.	Late November 2016
Draft Needs Analysis Report delivered.	Early December 2016
Third Councillor Briefing Session – Draft Community Needs Analysis Report presented.	14 December 2016
Final Needs Analysis Report delivered.	21 December 2016
Final Report tabled at Council	18 January 2017

#### Links with Strategic Plan

1. Everything you need

#### Legislative and Policy Implications

Nil

#### Risks

Undertaking adequate planning for this type of project is essential. Understanding community need and demand will shape and determine the type of facility to be further investigated. Site assessment, concept plans and business plans can only be developed and relied upon if there is a clear understanding of the purpose and usage of such a facility.

Appropriate and targeted community engagement at each phase of the planning project would be essential to the success of the planning project and ultimately to the success of the construction and operation of a community facility, should Council proceed.

## Financial Implications

Council has obtained funding of \$40,000 from the Northern Territory Government and these funds will be used to complete the Community Needs Analysis. The final cost of the Needs Analysis will be confirmed following appointment of a consulting firm.

Recommending Officer: Kaylene Conrick, Chief Executive Officer

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting of a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*

Agenda Item Number:	13.16	Report Number:	16/0163
Report Title:	Letter of Support – You are Important Australia		
Meeting Date:	20/07/2016	Record Number:	
Attachments:			

### Summary

*You Are Important Australia Incorporated* is a not for profit company.

Representatives from *You Are Important Australia* recently met with the Mayor and Chief Executive Officer to outline their concept to establish an aged care facility in the Litchfield Municipality and to seek Council’s support.

*You Are Important Australia* proposes to negotiate with the NT Government for appropriate land in the Litchfield municipality to support the enterprise.

This report proposes that Council provides a Letter of Support for the concept of establishing an aged care facility in the Litchfield Municipality.

### Recommendations

THAT Council provides a Letter of Support to You Are Important Australia for the concept of establishing an aged care facility in the Litchfield Municipality.

### Background

Following a meeting with representatives from You Are Important Australia the following information was sent to the Chief Executive Officer via email dated Tuesday 12 July 2016, regarding the concept to establish an aged care facility in Litchfield:

#### “You Are Important Australia

A not for profit business, You Are Important Australia, has been formed to tackle the chronic shortage of quality aged care in the Northern Territory.

Founded by Lyle and Sonia MacKay, YAI’s main objective is to build and operate residential retirement villages in rural settings in identified areas of need in the Northern Territory. The villages will offer full time residential care for senior citizens as well as day and night respite and end stage care.

The first village will be built in Darwin’s rural area. The concept will cater for 144 residents and at least 60 staff in a quiet, rural environment and setting. Residents will be offered programs that will give them a full and active lifestyle and strong engagement with their families and others in the wider community.

Residents of the village will be senior citizens, with a focus on those suffering dementia, Alzheimer’s and those caring for their own children who have a disability but who have reached the point where they need some care

of their own.

The focus will be on creating a stimulating environment which offers indoor and outdoor activities, arts and craft workshops, farm activities and a range of therapies such as Equine Assisted Therapy, wildlife care, gardening, cooking and exercise therapies.

The aim of the villages will be to deal with neglect, loneliness, helplessness, boredom, poor hygiene and nutrition and abuse (physical, mental and sexual) that are often encountered in other aged care homes.

Instead of having one large building, residents will be housed in separate, 12-bedroom houses. The bedrooms will be spacious and have their own ensuites; each home will have a communal lounge/dining area and kitchen.

There will be smaller houses or duplexes available on the site for retirees.”

#### Links with Strategic Plan

#### 2. A great place to live

#### Legislative and Policy Implications

The report proposes that Council provide a letter in support of the concept of establishing an aged care facility in the Litchfield municipality. Aged Care facilities are licenced and regulated by the federal government.

#### Risks

There are no identifiable risks in Council providing an initial letter of support for the concept.

#### Financial Implications

There are no financial implications for Council in providing a letter of support.

Recommending Officer: Kaylene Conrick, Chief Executive Officer

Any queries on this report may be directed to the Recommending Officer on telephone (08) 8983 0600.

*Any member of Council who may have a conflict of interest, or a possible conflict of interest in regard to any item of business to be discussed at a Council meeting of a Committee meeting should declare that conflict of interest to enable Council to manage the conflict and resolve it in accordance with its obligations under the Local Government Act and its policies regarding the same.*



14. Common Seal

15. Other Business

16. Public Questions

17. Closure of Meeting to the Public

THAT pursuant to Section 65 (2) of the Local Government Act and Regulation 8 of the Local Government (Administration) Regulations the meeting be closed to the Public to consider the Confidential Items on the Agenda. The Confidential items contain information classified as confidential due to it being:

- information about the personal circumstances of a resident or ratepayer;
- information that would, if publicly disclosed, be likely to cause commercial prejudice to, or confer an unfair commercial advantage on, any person.

17.1 Application Rate Concession

That pursuant to Section 65 (2) of the Local Government Act and Regulation 8 of the Local Government (Administration) Regulations the meeting be re-opened to the public.